

Village of Mukwonago
Notice of Meeting and Agenda

PLAN COMMISSION MEETING
Tuesday, March 9, 2021

Time: **6:30 pm**

Place: **Mukwonago Municipal Building, Board Room, 440 River Crest Ct, Mukwonago, WI 53149**

1. Call to Order

2. Roll Call

3. Comments from the Public

Please be advised, per Wisconsin Statute Sec. 19.84(2), information and comment will be received from the public by the Plan Commission. The Public Comment Session is granted to the public at the start of each Plan Commission meeting. The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. However, these time limits may be extended at the discretion of the Chief Presiding Officer. The Plan Commission may not respond to or have any discussion on information received during the public comment session unless it is placed upon the Agenda for a subsequent meeting. Public comments should be addressed to the Plan Commission as a body. Presentations shall not deal in personalities personal attacks on members of the Plan Commission, the applicant for any project or Village Employees. Comments shall not be used to engage others in a debate in this forum. All comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Plan Commission or Staff will be deemed out of order by the Presiding Officer.

4. Approval of Minutes

- 4.1 Approval of February 9, 2021 minutes
[20210209 PlanCommissionMinutesdraft.pdf](#)

5. Public Hearings

All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Plan Commission asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.

- 5.1 Public Hearing on a request for a banquet facility as a conditional use pursuant to Section 100-351 of the Village's Zoning Ordinance, Aman's Beer and Wine and ACG Development #1 LLC, applicant; 110 Chapman Farms Blvd; Parcel MUKV 1962-996-005.
[Public Hearing Notice PC - 110 Chapman - Amans - MUKV1962996005.pdf](#)
- 5.2 Public Hearing for a request for a thrift store (secondhand store) as a conditional use pursuant to Section 100-351 of the Village's Zoning Ordinance; Josh and Tonia Property Management, LLC, tenant; and Red Corner Investments LLC, owner, applicant; 201 S Rochester St; Parcel MUKV 1976-121.

6. New Business

Discussion and Possible Action on the Following Items

- 6.1 Discussion and possible recommendation to the Village Board on **RESOLUTION 2021-09** a Resolution to approve Conditional Use for a request for a banquet facility for Aman's Beer and Wine (VM Investments), applicant; 110 Chapman Farms Blvd; Parcel MUKV 1962-996-005.
[Agenda Report - 110 Chapman Farms Blvd - SPAR - CU - MUKV1962-996-005.pdf](#)
[RESOLUTION 2021-09 - CU Aman's Beer and Wine - MUKV1962996005.pdf](#)
- 6.2 Discussion and possible recommendation to the Village Board on **RESOLUTION 2021-10** a Resolution to approve Site Plan and Architectural Review for a liquor store and assembly hall for Aman's Beer and Wine (VM Investments), applicant; 110 Chapman Farms Blvd; Parcel MUKV 1962-996-005.
[RESOLUTION 2021-10 SPAR Aman's Beer and Wine - MUKV1962996005.pdf](#)
- 6.3 Discussion and possible recommendation to the Village Board on **RESOLUTION 2021-11** a Resolution to approve Conditional Use for a request for a thrift store (secondhand store) Josh and Tonia Property Management, LLC, tenant; and Red Corner Investments LLC, owner, applicant; 201 S Rochester St; Parcel MUKV 1976-121.
[Agenda Report- 201 South Rochester St - CU App Second Hand Store MUKV1976121.pdf](#)
[RESOLUTION 2021-11 - CU Josh and Tonia Property Management, LLC- MUKV1976121.pdf](#)
- 6.4 Discussion and possible recommendation to the Village Board on **RESOLUTION 2021-12** a Resolution to Amend the Comprehensive Plan for the Village of Mukwonago for property located at Lot 1 CSM #10415/Lot 26 blk 5 Meadow Park Estates Addition No 3, Parcel MUKV 1971-139-001.
[Agenda Report- Small Farm Road Lot 1 - Land Use Amend and Zoning Map Amend.pdf](#)
[RESOLUTION 2021- 12 Update to Comp Plan - Land Use - MUKV1971-113-001.pdf](#)
- 6.5 Discussion and possible recommendation to the Village Board on an Ordinance to Amend the District Zoning Map of the Village of Mukwonago on behalf of Abdulaziz F Sanqur, applicant; for property at Lot 1 CSM #10415/Lot 26 blk 5 Meadow Part Estates Addition #3; Parcel MUKV 1971-139-001.
[Ordinance XXX-Amend Zoning Map-Small Farm Road CSM 10415 MUKV1971-139-001.pdf](#)
[Ord XXX Atachments.pdf](#)
- 6.6 Discussion on Zoning Code and Sign Code rewrite.
[Staff Report - Zoning Code Sign Code Rewrite - Public Participation Plan.pdf](#)

- 6.7 Discussion and possible recommendation to the Village Board on **RESOLUTION 2021-13** a Resolution adopting a public participation plan for the zoning code and sign code update.

[Agenda Report- Zoning Sign Code Rewrite - public participation Plan.pdf](#)

[RESOLUTION 2021-13 zoning code - sign code - public participation plan.pdf](#)

7. Adjournment

Membership:

Jason Wamser, James Decker, Mark Penzkover, Ken Werner, Eric Brill, Fred Winchowky, Bob Harley, and John Fellows (Advisory)

It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.

MINUTES OF THE PLAN COMMISSION MEETING

Tuesday, February 9, 2021

Call to Order

Chairman Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

Roll Call

Commissioners present: Fred Winchowky, Chairman
Jim Decker
Ken Werner
Eric Brill
Mark Penzkover
Jason Wamser

Commissioners excused: Robert Harley

Also present: John Fellows, Village Planner
Linda Gourdoux, Deputy Clerk/Treasurer

Comments from the Public

Opened at 6:30 pm
No Comments
Closed at 6:32 pm

Minutes

Motion made by Decker/Penzkover to approve the minutes of the November 10, 2020 meeting, carried.

Public Hearings

Public hearing to consider a request on a Conditional Use application for a Thrift Store (secondhand store) located at 851 Greenridge Center; Circle of Friends Mission Thrift Shoppe Inc, tenant; and Greenwald Family Limited Partnership, owner; Parcel MUKV 1970-988-005

Opened at 6:32 pm
No Comments
Closed at 6:33 pm

New Business

Recommendation to the Village Board on RESOLUTION 2021-05 a Resolution to approve Conditional Use for a request for a thrift store (secondhand store) for Circle of Friends Mission Thrift Shoppe Inc, Applicant; 851 Greenridge Center; Parcel MUKV 1970-988-005; Greenwald Family Limited Partnership, Owner.

Fellows gave overview of project
Sherry Leka; Circle of Friends, gave overview of project

Motion made by Decker/Penzkover to approve **RESOLUTION 2021-05** a Resolution to approve Conditional Use for a request for a thrift store (secondhand store) for Circle of Friends Mission Thrift Shoppe Inc, Applicant; 851 Greenridge Center; Parcel MUKV 1970-988-005; Greenwald Family Limited Partnership, Owner, with the correction on item 4f change from Walworth to Waukesha, carried

Recommendation to the Village Board on RESOLUTION 2021-06 a Resolution to approve Site Plan and Architectural Review for Circle of Friends Mission Thrift Shoppe Inc, Applicant; 851 Greenridge Center; Parcel MUKV 1970-988-005; Greenwald Family Limited Partnership, Owner.

Motion made by Decker/Penzkover to approve **RESOLUTION 2021-06** a Resolution to approve Site Plan and Architectural Review for Circle of Friends Mission Thrift Shoppe Inc, Applicant; 851 Greenridge Center; Parcel MUKV 1970-988-005; Greenwald Family Limited Partnership, Owner, with the addition of item 13, "All relevant building codes must be met before occupancy is issued", carried

Adjournment

Meeting adjourned at 6:48 p.m.

Respectfully Submitted,
Linda Gourdoux
Deputy Clerk/Treasurer

**NOTICE OF PUBLIC HEARING BEFORE THE VILLAGE OF MUKWONAGO PLAN
COMMISSION TO CONSIDER A CONDITIONAL USE APPLICATION FOR A
BANQUET FACILITY LOCATED AT 110 CHAPMAN FARMS BLVD**

Please take notice there will be a public hearing before the Village of Mukwonago Plan Commission in the Board Room of the Village Hall, 440 River Crest Court, Mukwonago, Waukesha and Walworth Counties, on Tuesday, March 9, 2021, commencing at 6:30 P.M. or soon thereafter to consider the following matter:

REGARDING: Consider a request for a banquet facility as a conditional use pursuant to Section 100-351 of the Village's Zoning Ordinance

TAX KEY/LOCATION: MUKV1962996005; 110 Chapman Farms Blvd

APPLICANT: Aman's Beer and Wine and ACG DEVELOPMENT#1 LLC

LEGAL DESCRIPTION: LOT 2 CSM #11632 VOL 116/222 REC AS DOC #4305019 REDIV LOT 1 CSM #11572 VOL 115/277 PT SW1/4 NW1/4 SEC 23 T5N R18E :: INCLUDING A RECIPROCAL PRIVATE ROAD EASEMENT AS DESC IN DOC #4305023 :: INCLUDING RECIPROCAL PARKING EASEMENT AS DESC IN DOC #4340356 AND RECORDED ON MAY 22, 2018 :: ALSO RECIPROCAL PARKING EASEMENT AS DESC IN DOC #4358842 :: DOC #4304879

The meeting/public hearing may be held online via Zoom if so indicated on the meeting agenda.

The proposal may be viewed at Village Hall, 440 River Crest Court, Mukwonago, WI during business hours, or by contacting the John Fellows, AICP, Village Planner at (262) 363-6420 x. 2111, or at planner@villageofmukwonago.com.

All interested parties will be heard. Written comments will be accepted up to the time of the hearing. For more information, please contact the village planner at (262) 363-6420 x. 2111, or at jfellows@villageofmukwonago.com.

Diana Dykstra, Clerk-Treasurer

To be published: February 24, 2020 and March 2, 2020

**NOTICE OF PUBLIC HEARING BEFORE THE VILLAGE OF MUKWONAGO PLAN
COMMISSION TO CONSIDER A CONDITIONAL USE APPLICATION FOR A
THRIFT STORE LOCATED AT 201 SOUTH ROCHESTER ST**

Please take notice there will be a public hearing before the Village of Mukwonago Plan Commission in the Board Room of the Village Hall, 440 River Crest Court, Mukwonago, Waukesha and Walworth Counties, on Tuesday, March 9, 2021, commencing at 6:30 P.M. or soon thereafter to consider the following matter:

REGARDING:	Consider a request for a thrift store (secondhand store) as a conditional use pursuant to Section 100-351 of the Village's Zoning Ordinance
TAX KEY/LOCATION:	MUKV1976121; 201 S. Rochester St.
APPLICANT:	Josh and Tonia Property Management, LLC, tenant; and RED CORNER INVESTMENTS LLC, owner
LEGAL DESCRIPTION:	PT LOTS 2 & 3 BLK 12 ORIGINAL PLAT PT SE1/4 SEC 26 T5N R18E COM 163.00 FT 6.00 IN FROM SW COR BLK 12 N86 E 52.00 FT 3.00 IN N35.5 W 109.00 FT S4 E 96.00 FT TO BGN ALSO COM 138.00 FT 6.00 IN FROM SW COR BLK 12 N86 E 65.00 FT 10.00 IN N32.5 W 21.00 FT 7.00 IN S86 W 55.00 FT 6.00 IN S4 E 19.00 FT TO BGN ALSO COM 157.00 FT 6.00 IN FROM SW COR BLK 12 N86 E 55.00 FT 6.00 IN N32.5 W 6.00 FT 9.00 IN S86 W 52.00 FT 3.00 IN S4 E 6.00 FT TO BGN R2674/1110

The meeting/public hearing may be held online via Zoom if so indicated on the meeting agenda.

The proposal may be viewed at Village Hall, 440 River Crest Court, Mukwonago, WI during business hours, or by contacting the John Fellows, AICP, Village Planner at (262) 363-6420 x. 2111, or at planner@villageofmukwonago.com.

All interested parties will be heard. Written comments will be accepted up to the time of the hearing. For more information, please contact the village planner at (262) 363-6420 x. 2111, or at jfellows@villageofmukwonago.com.

Diana Dykstra, Clerk-Treasurer

To be published: February 24, 2020 and March 2, 2020



PLANNING COMMISSION

March 9, 2021 at 6:30pm

Mukwonago, WI

SITE PLAN AND ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT

110 Chapman Farm Blvd

Parcel Number: MUKV1962-996-005

Case Summary

Parcel Data

Proposal:	Liquor Store (first floor) Tasting Room with terrace aka Assembly Hall (second floor)
Applicant:	Aman Signh, Sarab Investments / VM Investments / Aman's Beer and Wine
Request:	Site Plan and Architectural Review Conditional Use Permit for a banquet facility
Staff Recommendation:	Approve with Conditions
Planning Commission Recommendation:	Pending

Parcel Characteristics / Conditions

Acreage:	1.01
Current Use:	Vacant Commercial Property
Proposed Use:	Retail / Assembly Hall
Reason for Request:	New Construction
Land Use Classification:	Low Intensity Commercial / Business
Zoning Classification:	B-3 Community Business District
Census Tract:	2039.01

Public Notice

A public hearing notice was published two times in the Waukesha Freeman, and letters were mailed to surrounding property owners. Public comment as of this date, staff has not received any comments or other communications regarding this proposal.

Site Plan and Architectural Review Request

Architectural/ Site Review	Aman's Beer + Wine is looking to construct a building at 110 Chapman Farm Blvd. The building will have 4-sided architecture with the entrance located on the west side of the building. The rear
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or back of the building will face Highway 83 and will be architectural and aesthetically pleasing to the public.

The proposed project is a 2-story building that has a first-floor footprint of 6,968 square feet. The second floor has a gross square footage area of 6,968, with a mezzanine concept, having the center section of 1,278 square feet, open to the first floor. The exterior of the building will be constructed using a masonry veneer wainscot, and will have several different colors of prefinished smart siding material to cover the remainder of the wall exterior. The windows and entrances will be a colored aluminum framing system infilled with clear, low e insulated glass. The roof will be a gable roof system with several dormer sections and will have an asphalt shingle roof with necessary gutters and downspouts. The exterior of building will have several awnings on the west and east elevations to add depth and feature. The south elevation at the 2nd floor, will have functional overhead doors to provide an outdoor atmosphere during the summer months to that area.

The asphalt parking lot will have 30 parking stalls which include 2 ADA stalls. Site lighting will utilize the light poles and fixtures required for Chapman Farm. A masonry dumpster enclosure is proposed along with a fenced area to cover the ground mounted HVAC system. The site will be landscaped with required trees and have a buffer/screening area around the dumpster area. Near the dumpster enclosure will be the unloading area for deliveries. There will be one delivery a day, which will occur between the hours of 8am and 10am.

Site Modifications	No Modifications proposed at this time
Utilities	All Utilities will be underground, sewer and water are available.
Stormwater Management	There is a regional system, they will connect to the system.
Wetlands	None
Signage	Will be reviewed by staff per ordinance. Existing signage on plans is for illustrative purposes and has not been reviewed for compliance.
Parking	Meets minimum standards. 30 spaces required and 30 provided.
Landscaping	Landscaping plans have been submitted consisting of deciduous trees, one evergreen tree, and foundation plantings around the building. No low vegetation plantings are planned for areas within the parking lot. See staff recommendations.

Trash Enclosure	Details and specifications have not been provided. See staff recommendations.
Fencing	Fencing is proposed around the HVAC units, specifications have not been provided. See staff recommendations.
Outdoor Lighting	Lighting is planned for the site and will coordinate with surrounding properties.
Misc. Performance Standards	None

Staff Review

Engineering	Approve with Conditions – See attached letters (utilities and stormwater)
Public Works	No Comment
Utilities	No Comment
Police	All lighting within the parking lot and building lighting shall be full cut of lighting. Building lighting shall not direct light or the appearance of light towards State Trunk Highway 83. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
Fire	Plans must allow for a WB-50 vehicle to access the site. A dedicated hydrant for FDC and suppression system must be provided.
Building Inspection	No Comment
Planning	1. The applicant applies for and receiving approval for all new signage. 2. Plans for a trash dumpster shall be submitted and approved by the Village Planner. Trash dumpsters shall be screened from public rights-of-way and adjacent property by an enclosure with walls a minimum of six feet in height. The walls shall be constructed of masonry compatible with materials used on the principal building. Access gates shall be constructed of woven wire fencing with opaque screening material. It is preferred that a screened pedestrian entrance be provided such that waste may be deposited without opening the large access gates. Any future exterior modification to the tenant space (doors, windows, canopies, painting) shall require Site Plan and Architectural Review. 3. Fencing material shall be submitted and approved by the Village Planner. Fencing shall be a black aluminum ornamental fence. 4. Landscaping Plans shall be updated: a. To reflect proper lot configuration, setbacks etc. b. To replace the Ivory Silk Japanese tree lilac adjacent to the private road shall be replaced with a either a more columnar street tolerant tree species, or a species that will grow tall and then branch out having a high canopy. c. To add additional foundation plantings along Route 83 and provide a more curvilinear planting bed. Foundations plantings shall be deciduous, and evergreen include shrubs and plants, and shall

provide a variety of plants that will allow for blooms to be provided throughout the growing season.

5. Staff recommends the Planning Commission consider requesting an architectural stone product to be added to the entry of the structure or similar product to allow better coordination with surrounding properties. Consideration of stone along the 83 façade under the upward datum line might also be considered. The proposed building consists of split face block and various siding details. Two surrounding buildings have clay brick, architectural metal panels and stone, while a third building has siding, split face block, and architectural stone.
6. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

Conditional Use Request

About the Business:

The first floor would be a retail area selling beer, spirits and wine. Hours for retail would be 8am – 9pm daily. The second floor would have a terrace area, where beer, wine and spirits would be served and consumed. Hours of operation would be 2pm – 12am daily. There are separate entrances in the lobby, to access the retail and the 2nd floor terrace area. This way access will be locked after 9pm to the retail area. The remainder of the second floor would be storage of product. The concept of the terrace area is where customers can taste and consume product before they purchase.

Near the dumpster enclosure will be the unloading area for deliveries. There will be one delivery a day, which will occur between the hours of 8am and 10am.

The owner, Aman Singh, currently owns a similar facility in Wind Lake. Many of his customers come from the Mukwonago area and he would like to bring the same experience to the Village of Mukwonago. Mr. Singh has presented and met with the Village of Mukwonago Committee of the Whole in previous months, and has obtained the necessary Class A and Class B liquor licenses for this property.

Harmony with Village policies, ordinances, and programs

Property is currently zoned as Class B-3 community business which allows this type of business

Specific Location within harmony with Village policies, ordinances and programs

The licenses required for this type of proposed condition were presented, discussed, and approved at the December 2, 2020 and the January 20, 2021 Village of Mukwonago Committee of the Whole meetings.

Potential Adverse Impact on surrounding:

No, as there is will be the required on site parking and the area has the necessary public improvements in place currently

Maintaining consistency within the environs of the property:

Property is one of 4 lots on the Chapman Farm Blvd road and all the lots are commercial businesses.

Adequate Services

Yes

Benefits of the use outweigh adverse impacts.

Yes

Hours of Operation:

Assembly Hall: Hours of operation would be 2pm – 12am daily

Conditional Use Process / Findings

Review procedures The Plan Commission holds the public hearing and makes a recommendation to the Village Board which makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

Recommendation

Site Plan and Architectural Review

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
10. Plans must allow for a WB-50 vehicle to access the site.
11. A dedicated hydrant for FDC and suppression system must be provided.
12. All lighting within the parking lot and building lighting shall be full cut of lighting. Building lighting shall not direct light or the appearance of light towards State Trunk Highway 83. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.

13. The applicant applies for and receiving approval for all new signage.
14. Plans for a trash dumpster shall be submitted and approved by the Village Planner. Trash dumpsters shall be screened from public rights-of-way and adjacent property by an enclosure with walls a minimum of six feet in height. The walls shall be constructed of masonry compatible with materials used on the principal building. Access gates shall be constructed of woven wire fencing with opaque screening material. It is preferred that a screened pedestrian entrance be provided such that waste may be deposited without opening the large access gates. Any future exterior modification to the tenant space (doors, windows, canopies, painting) shall require Site Plan and Architectural Review.
15. Fencing material shall be submitted and approved by the Village Planner. Fencing shall be a black aluminum ornamental fence.
16. Landscaping Plans shall be updated:
 - a. To reflect proper lot configuration, setbacks etc.
 - b. To replace the Ivory Silk Japanese tree lilac adjacent to the private road shall be replaced with a either a more columnar street tolerant tree species, or a species that will grow tall and then branch out having a high canopy.
 - c. To add additional foundation plantings along Route 83 and provide a more curvilinear planting bed. Foundations plantings shall be deciduous, and evergreen include shrubs and plants, and shall provide a variety of plants that will allow for blooms to be provided throughout the growing season.
17. The applicant shall work with the Village Planner prior to permitting to modify the façade and introduce an architectural stone product at the entry of the structure and along the 83 façade under the upward datum to allow for better coordination of materials with surrounding existing structures.
18. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

Conditional Use

Staff Recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in Resolution 2021-09

To – Grant a Conditional Use permit for a Banquet Facility at Aman's Beer and Wine subject to the following on going conditions deemed necessary to protect the health, safety, and welfare

1. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
 - a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
 - b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
 - c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
 - d. Potable water and sanitation must be provided and maintained.
 - e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
 - f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.

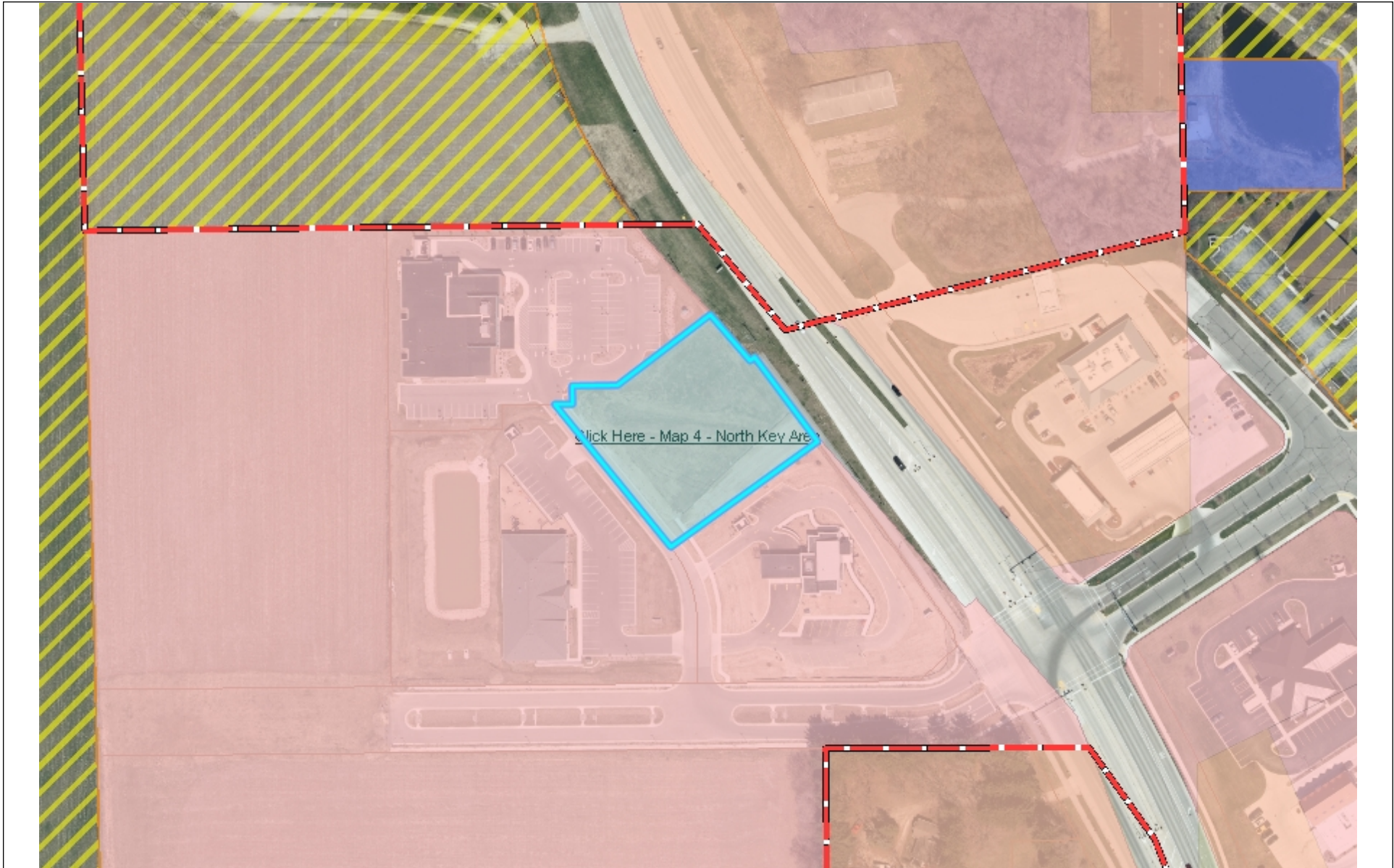
- g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j. A secured and physical barrier between the retail store and the banqueting facility shall be maintained at all times during the operation of either entity.
- k. Employees shall park within the parking spaces located near the private road (This is required because the turning movement of a fire truck is difficult at this site and if a fire call were to happen then there is less possibility that the fire truck will have to work around long term parked vehicles.)
- l. The front of the dumpster enclosure shall not be blocked by vehicles or other items.
- m. Outdoor convenience items such as ice and propane shall be screened on three sides.
- n. Banqueting Facility (tasting area and terrace) hours of operation shall be from 12 noon to 12 pm Daily.
- o. Proper liquor license (A and B) shall be maintained at all time.
- p. All lighting within the parking lot and building lighting shall be full cut of lighting. Building lighting shall not direct light or the appearance of light towards State Trunk Highway 83. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.

and determining that the conditions are consistent with Section 100-354 of Mukwonago's zoning regulations:

- 1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
- 2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
- 3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
- 4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
- 5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

Attachments

- 1. Maps
- 2. Plans
- 3. Resolution 2021-09 for approval of a Conditional Use
- 4. Resolution 2021-10 for approval of the Site Plan and Architectural Review



Village of Mukwonago GIS
110 Chapman Farm Blvd CU and SPAR

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 167'

VILLAGE OF MUKWONAGO
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Print Date: 2/24/2021



Village of Mukwonago GIS
110 Chapman Farm Blvd CU and SPAR

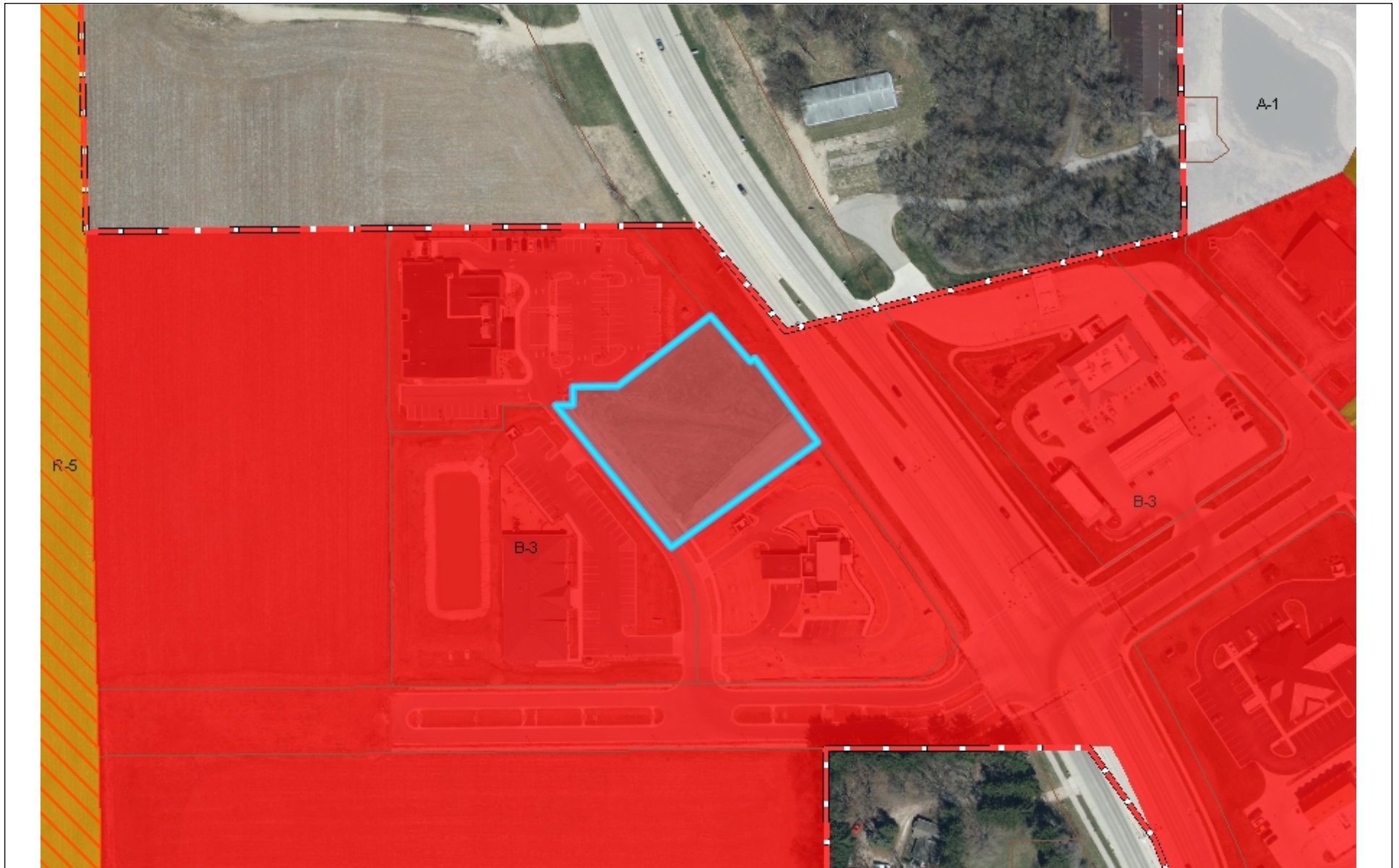
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SCALE: 1" = 200'

VILLAGE OF MUKWONAGO
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Print Date: 2/24/2021



Village of Mukwonago GIS
110 Chapman Farm Blvd CU and SPAR

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SCALE: 1" = 167'

VILLAGE OF MUKWONAGO
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Print Date: 2/24/2021

Aman's Beer + Wine
2/12/2021

Project Summary

Aman's Beer + Wine is looking to construct a building at 110 Chapman Farm Blvd. The building will have 4-sided architecture with the entrance located on the west side of the building. The rear or back of the building will face Highway 83 and will be architectural and aesthetically pleasing to the public.

The proposed project is a 2-story building that has a first-floor foot print of 6,968 square feet. The second floor has a gross square footage area of 6,968, with a mezzanine concept, having the center section of 1,278 square feet, open to the first floor. The exterior of the building will be constructed using a masonry veneer wainscot, and will have several different colors of prefinished smart siding material to cover the remainder of the wall exterior. The windows and entrances will be a colored aluminum framing system infilled with clear, low e insulated glass. The roof will be a gable roof system with several dormer sections and will have an asphalt shingle roof with necessary gutters and downspouts. The exterior of building will have several awnings on the west and east elevations to add depth and feature. The south elevation at the 2nd floor, will have functional overhead doors to provide an outdoor atmosphere during the summer months to that area.

The asphalt parking lot will have 34 parking stalls which include 2 ADA stalls. Site lighting will utilize the light poles and fixtures required for Chapman Farm. A masonry dumpster enclosure is proposed along with a fenced area to cover the ground mounted HVAC system. The site will be landscaped with required trees and have a buffer/screening area around the dumpster area. Near the dumpster enclosure will be the unloading area for deliveries. There will be one delivery a day, which will occur between the hours of 8am and 10am.

The first floor would be a retail area selling beer, spirits and wine. Hours for retail would be 8am – 9pm daily. The second floor would have a terrace area, where beer, wine and spirits would be served and consumed. Hours of operation would be 2pm – 12am daily. There are separate entrances in the lobby, to access the retail and the 2nd floor terrace area. This way access will be locked after 9pm to the retail area. The remainder of the second floor would be storage of product. The concept of the terrace area is where customers can taste and consume product before they purchase. The owner, Aman Singh, currently owns a similar facility in Wind Lake. Many of his customers come from the Mukwonago area and he would like to bring the same experience to the Village of Mukwonago. Mr. Singh has presented and met with the Village of Mukwonago Committee of the Whole in previous months, and has obtained the necessary Class A and Class B liquor licenses for this property.



2746 South 166th Street
New Berlin, WI 53151
262.786.4640 P
262.786.4675 F
andersonashton.com

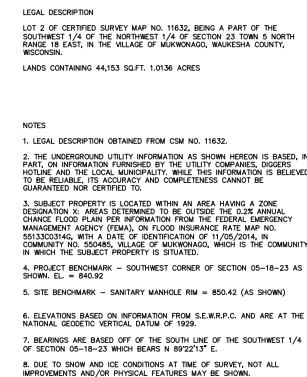
Aman's Beer + Wine
2/12/2021

Plan of Operation

Days of Operation: Monday thru Sunday

Hours of Operation: Retail 8am to 9pm; Terrace serving area: 2pm – 12am

Deliveries: One a day approximately 8am -10am time frame



AMAN'S LIQUOR
110 CHAPMAN FARM BOULEVARD
MUKWONAGO, WI

DRAWN BY:	RAP	DATE:	02/03/2021
CHECKED BY:	NJF	DRAWING NO.	EC - 0
CSE JOB NO.:	21 - 007	SHEET	1 OF 1

www.DiggersHotline.com
DIGGERS HOTLINE
 DIAL 811 OR (800) 242-8511

[illegible]

AMAN'S BEER + WINE

110 CHAPMAN FARM BOULEVARD
MUKWONAGO, WI



NORTHEAST FACADE



DRAWING INDEX	
SURVEY	EXISTING CONDITIONS SURVEY
EC-0	
CIVIL	
CT-0	SITE GRADING & UTILITY PLAN
CT-0	EROSION CONTROL PLAN
CT-0	
CT-0	SITE DETAILS
LANDSCAPE	
LS-0	LANDSCAPE ARCHITECTURE
LS-0	
LS-0	ARCHITECTURAL SITE PLAN
ARCHITECTURAL	
A-01	PLANS
A-01	REFLECTED CEILING PLAN
A-01	ROOF PLAN
A-01	ELEVATIONS
A-01	SECTIONS
A-01	LARGE SCALE DRAWINGS
A-01	SCHEDULES
A-01	RENDERINGS
ELECTRICAL	
EO-1A	SITE PLAN - PHOTOMETRIC

OWNER MAILING ADDRESS	
AMAN'S BEER + WINE	
26210 W. LOOMIS ROAD WIND LAKE, WI 53185	

SUPERVISING PROFESSIONAL	PROFESSIONAL STAMP & DATE
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2746 S. 166th STREET NEW BERLIN, WI 53151	

PLAN REVISIONS		
REV	DESCRIPTION	DATE
	VILLAGE SUBMITTAL	2/12/2021

ANDERSON-ASHTON, INC.
DESIGN / BUILD
1100 W. WISCONSIN AVE.
NEW BERLIN, WI 53151
(608) 833-0000
WWW.ASHTONINC.COM

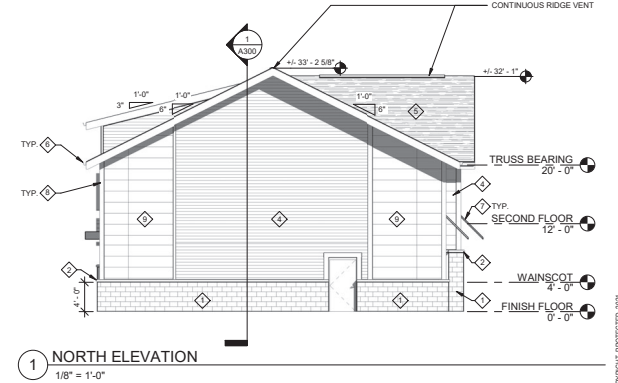
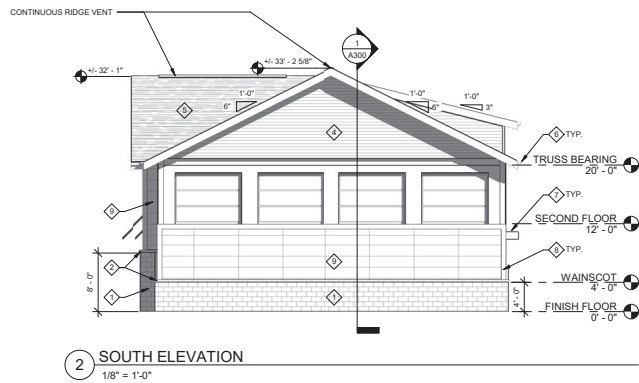
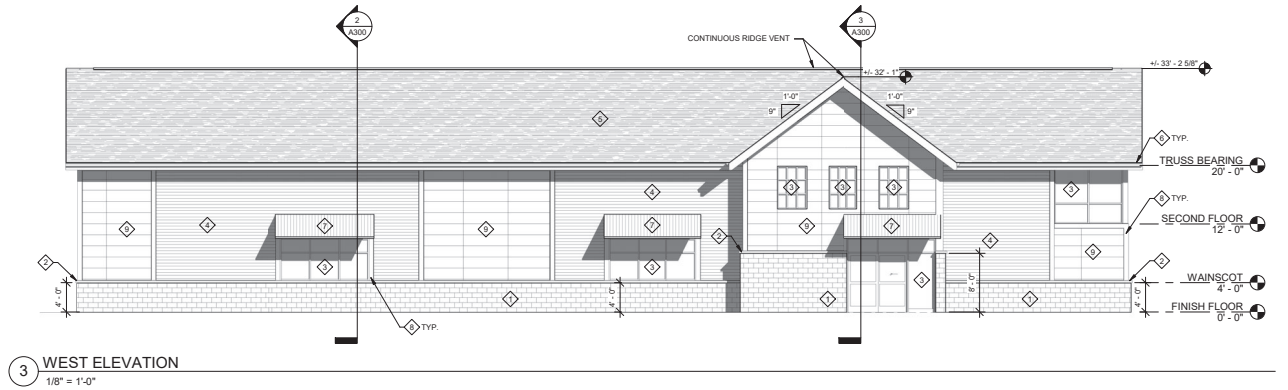
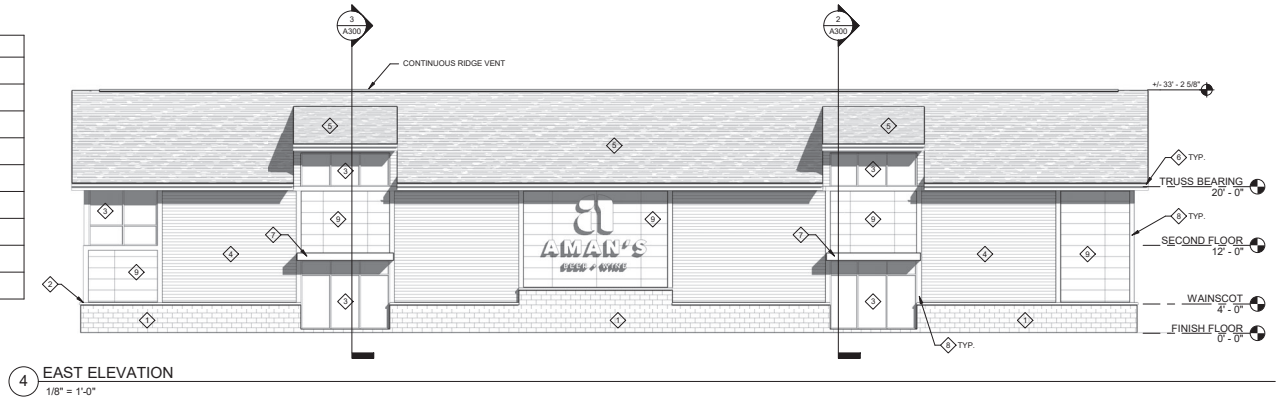
PROPOSED BUILDING FOR:
AMAN'S BEER + WINE
110 CHAPMAN FARM BOULEVARD MUKWONAGO, WI

DRAFTED BY: UN
DESIGNER: UN
ISSUE 2/12/2021 10:38:58 AM
SUBMITTAL DATE: 00-00-00
DESIGN NO.: P-02841
CONSTRUCTION NO.: .

T101

ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V)
◇ SPLIT FACE BLOCK	--	--
◇ PRECAST STONE SILLINTEL	--	--
◇ GLAZING	--	--
◇ HORIZONTAL SIDING	--	--
◇ ASPHALT SHINGLES	--	--
◇ PREFINISHED GUTTER AND DOWNSPOUT	--	--
◇ AWNING	--	--
◇ TRIM	--	--
◇ SIDING	--	--

NOTE:
1. CARPENTER TO INSTALL IN-WALL BLOCKING AS NEEDED TO ALLOW EXTERIOR CORNER TRIM AND SIDING TO BE FASTENED PROPERLY



REVISIONS

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Newport, WI 53156
WWW.ANDERSONASHKON.COM



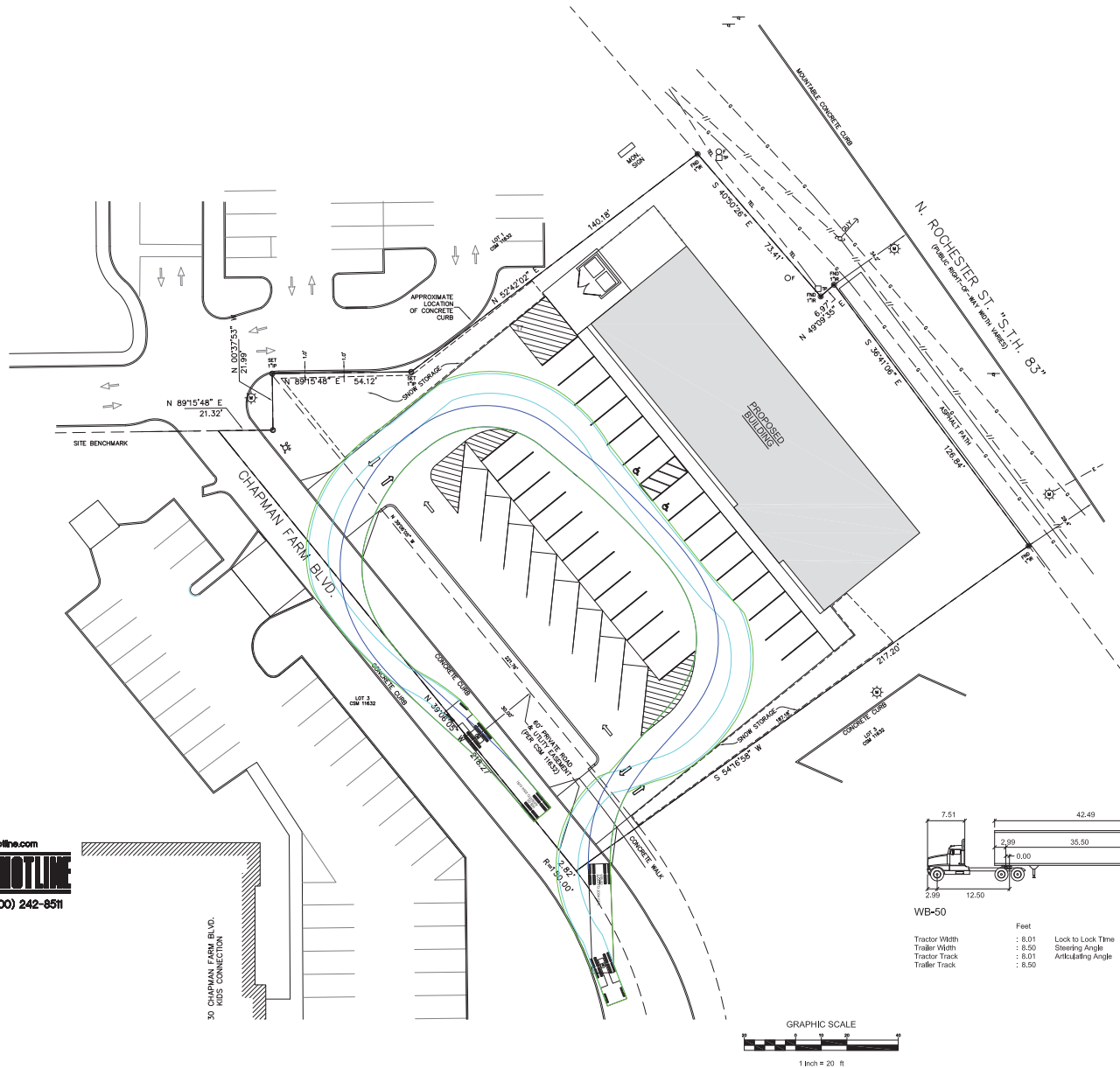
PROPOSED BUILDING FOR:
AMAN'S BEER + WINE
110 CHAPMAN FARM BOULEVARD MUKWAGO, WI

DRAFTED BY: L/N
DESIGNER: L/N
ISSUE: 3/13/2021 9:33:41 AM
SUBMITTAL DATE: XXX-XX-XX
DESIGN NO.: P-2021-01
CONSTRUCTION NO.:

ELEVATIONS

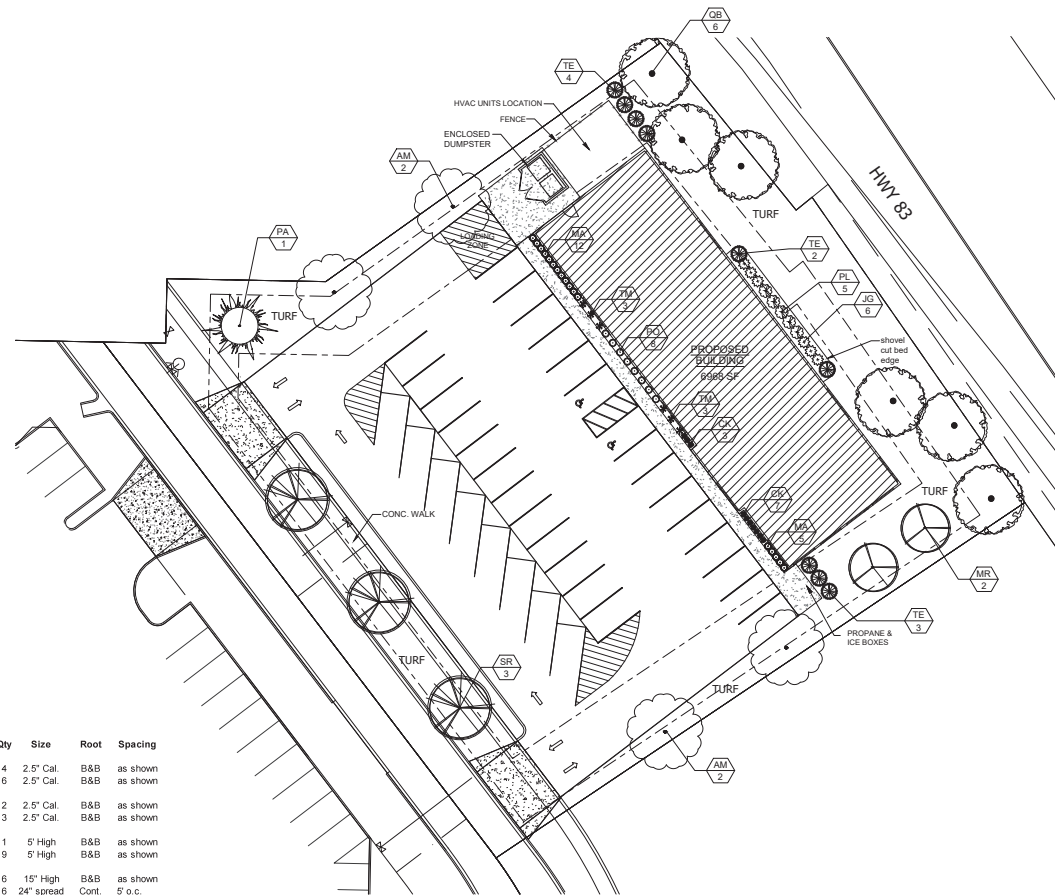
A201

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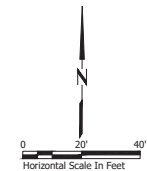
Plant Schedule

Key	Botanical Name	Common Name	Qty	Size	Root	Spacing
Shade Trees						
AM	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	4	2.5" Cal.	B&B	as shown
QB	Quercus bicolor	Swamp White Oak	6	2.5" Cal.	B&B	as shown
Ornamental Trees						
MR	Malus 'Royal Raindrops'	Royal Raindrops Crab	2	2.5" Cal.	B&B	as shown
SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	3	2.5" Cal.	B&B	as shown
Evergreen Trees						
PA	Pinus strobus	Norway Spruce	1	5' High	B&B	as shown
TE	Thuja occidentalis 'Emerald'	Emerald Arborvitae	9	5' High	B&B	as shown
Evergreen Shrubs						
TM	Thuja occidentalis 'Bobo' Mr. Bowling Ball	Mr. Bowling Ball Arborvitae	6	15" High	B&B	as shown
JG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	6	24" spread	Cont.	5' o.c.
Deciduous Shrubs						
PL	Physocarpus opulifolius 'Lemon Candy'	Lemon Candy Ninebark	5	18" High	Cont.	3' o.c.
PO	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	8	18" High	Cont.	4' o.c.
Perennials and Grasses						
CK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	10	1 Gal.	Cont.	20" o.c.
MA	Miscanthus sinensis 'Adagio'	Adagio Maidengrass	17	1 Gal.	Cont.	48" o.c.



Gerard A. Rewolinski

LANDSCAPE PLAN



Premier Landscapes

LANDSCAPE DEVELOPMENT FOR
MUKWONAGO LIQUOR
MUKWONAGO, WISCONSIN

LANDSCAPE ARCHITECTURE

DESIGN BY: GAR
DRAWN BY: GAR
DATE: 2/5/2021
REVISED:
SCALE: 1"=20'-0"
SHEET: L100

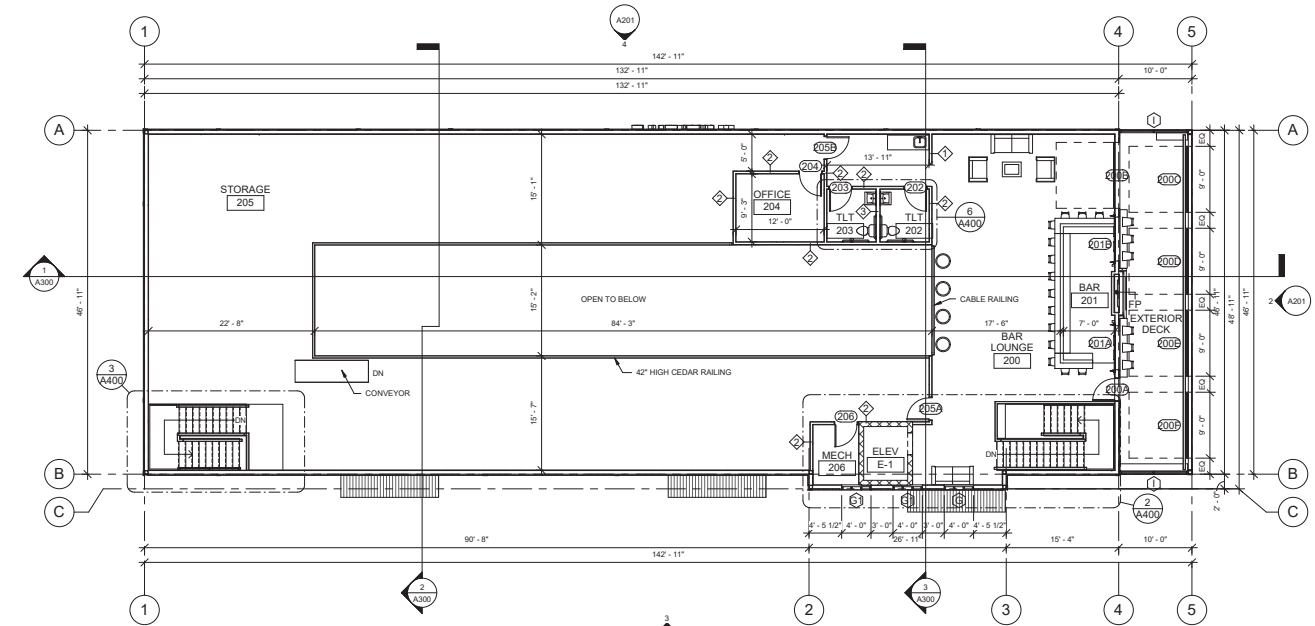
TREES ON THE MOVE

5611 S. Calhoun Road
New Berlin, WI 53151
Phone: (262) 679-5200
treesonthemove.com

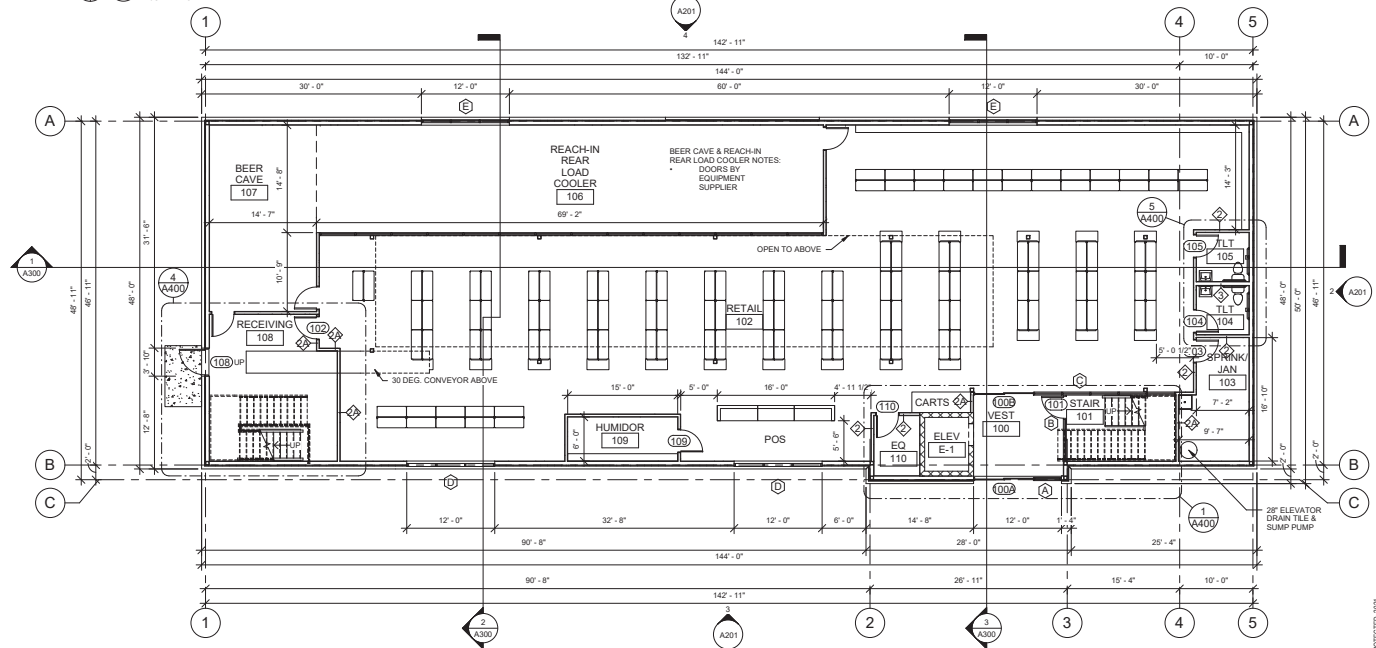
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WALL SCHEDULE			
TAG	DETAIL	NOM	DESCRIPTION
ACT	INTERIOR	NOM	PARTITION WALL - 5/8" GYPSUM WALL BOARD - 3-5/8" STEEL STUDS @ 16" ON CENTER - 5/8" GYPSUM WALL BOARD (UNLESS NOTED OTHERWISE, EXTEND WALLS TO 6" ABOVE CEILING)
ACT	INTERIOR	NOM	PARTITION WALL - 5/8" GYPSUM WALL BOARD - 3-5/8" STEEL STUDS @ 16" ON CENTER - SOUND BATT INSULATION - 5/8" GYPSUM WALL BOARD (UNLESS NOTED OTHERWISE, EXTEND WALLS TO 6" ABOVE CEILING) ♦♦ EXTEND WALLS TO UNDERSIDE OF DECK
ACT	INTERIOR	NOM	PLUMBING WALL - 5/8" GYPSUM WALL BOARD - 6" STEEL STUDS @ 16" ON CENTER - SOUND BATT INSULATION - 5/8" GYPSUM WALL BOARD (UNLESS NOTED OTHERWISE, EXTEND WALLS TO 6" ABOVE CEILING)

- NOTE:
- CARPENTER TO INCLUDE SLIP TRACK @ ROOF TRUSSES FOR ALL FULL HEIGHT INTERIOR WALLS
 - CARPENTER TO PROVIDE FOR MOVEMENT AT PERIMETER ROOF WALL DRYWALL JOINTS
 - PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT WET/DAMP LOCATIONS
 - SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON APPLIED WALL FINISHES
 - CARPENTER TO PROVIDE BLOCKING AS NEEDED FOR BATHROOM ACCESSORIES



2 SECOND FLOOR PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

REVISIONS

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New Bedford, MA 01905
WWW.ANDERSONASHKTON.COM



PROPOSED BUILDING FOR:
AMAN'S BEER + WINE

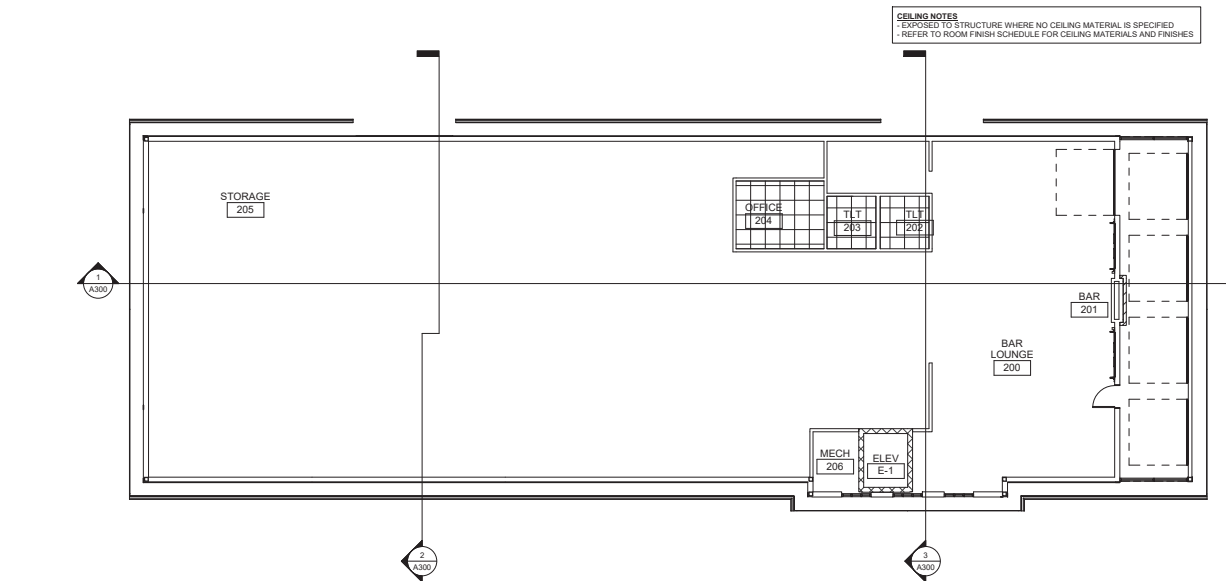
110 CHAPMAN FARM BOULEVARD MOUNTAIN, VT

DRAFTED BY: L/H
DESIGNED BY: MH
ISSUE: 3/13/2021 9:33:22 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO.: P-02841
CONSTRUCTION NO.:

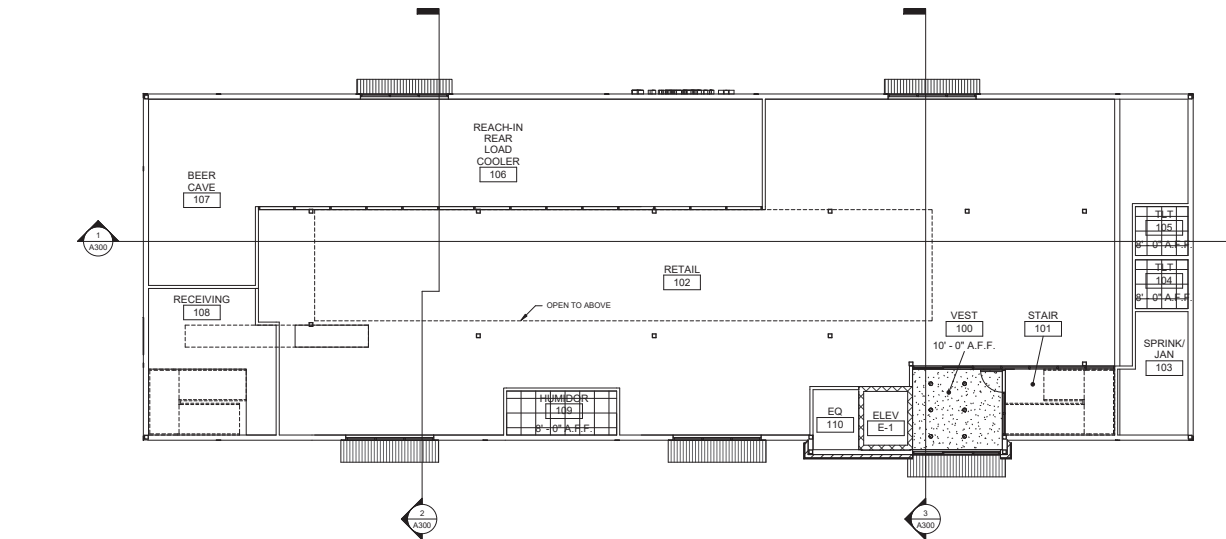
PLANS

A101

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2 SECOND FLOOR RCP
 1/8" = 1'-0"



1 FIRST FLOOR RCP
 1/8" = 1'-0"

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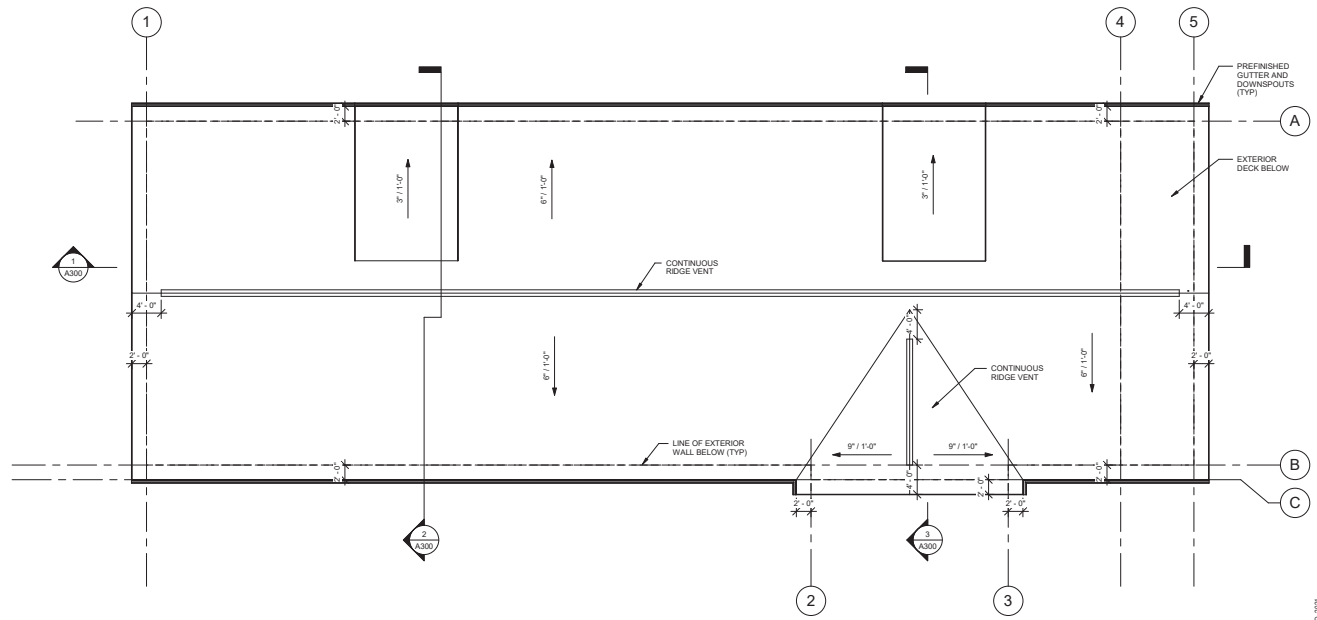
PROPOSED BUILDING FOR:
AMAN'S BEER + WINE

110 CHAPMAN FARM BOULEVARD MONROVIA, WI

DRAFTED BY: LH
 DESIGNED BY: MH
 ISSUE: 3/13/2021 9:33:23 AM
 SUBMITTAL DATE: XX-XX-XX
 DESIGN NO.: P-02041
 CONSTRUCTION NO.:

REFLECTED CEILING PLAN

A111



1 ROOF PLAN
1/8" = 1'-0"

REVISIONS	

**ANDERSON
ASKTON**
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2746 South 98th Street
New Berlin, WI 53151
TEL: 262.781.1100
WWW.ANDERSONASKTON.COM

IA

PROPOSED BUILDING FOR:
AMAN'S BEER + WINE
110 CHAPMAN FARM BOULEVARD MUKWAGO, WI

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DESIGNER:	LN
ISSUE:	3/13/2021 9:33:24 AM
SUBMITTAL DATE:	XX XX XX
DESIGN NO.:	P-02041
CONSTRUCTION NO.:	

ROOF PLAN

A121

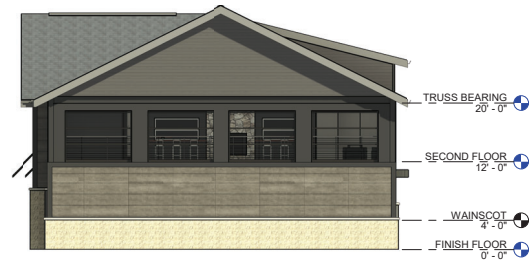
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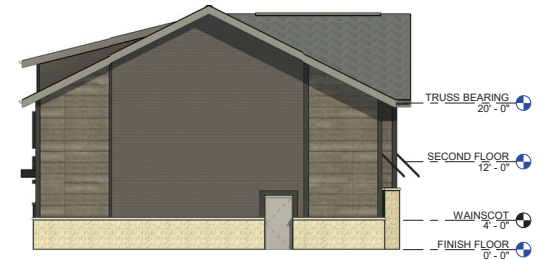
4 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

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PROPOSED BUILDING FOR:
AMAN'S BEER + WINE
110 CHAPMAN FARM BOULEVARD MUKWAGO, WI

DRAFTED BY: LK
DESIGNER: LM
ISSUED: 3/12/2021 10:10:58 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO.: P-22041
CONSTRUCTION NO.:

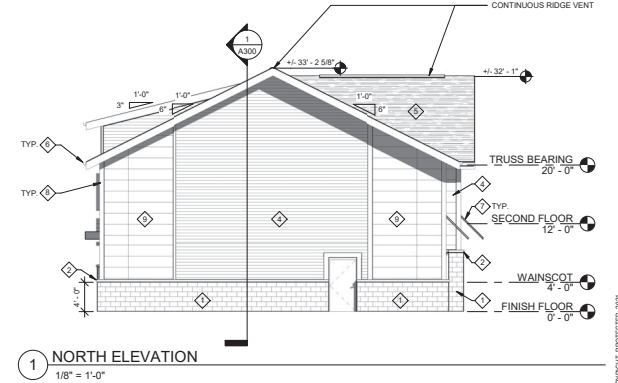
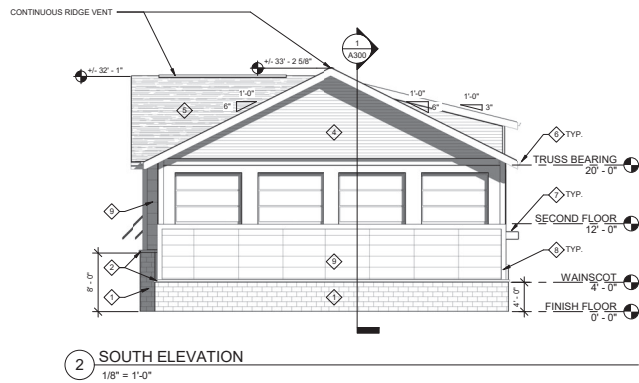
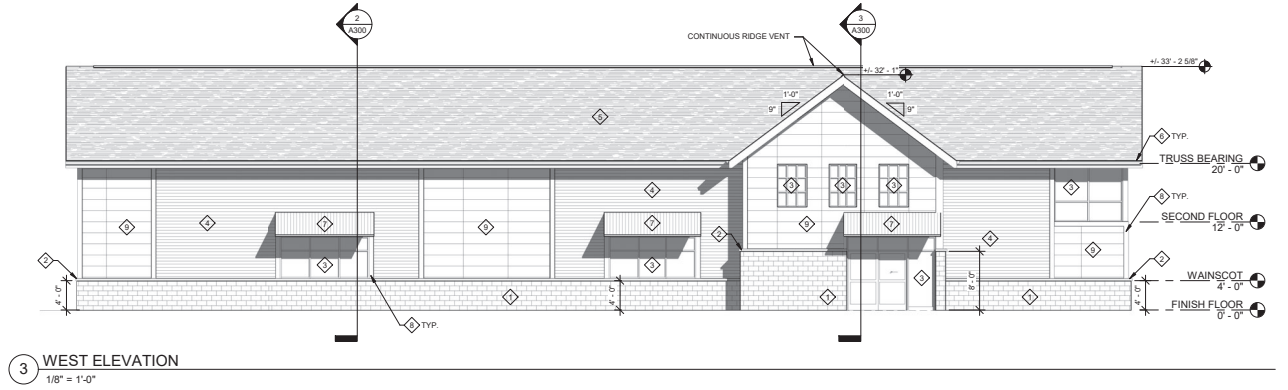
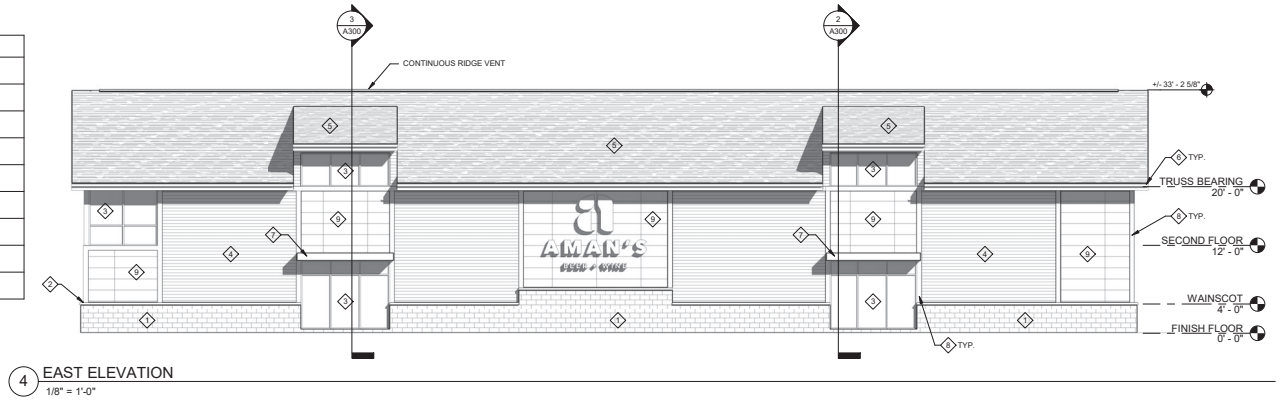
ELEVATIONS

A201

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ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V)
◇ SPLIT FACE BLOCK	--	--
◇ PRECAST STONE SILLINTEL	--	--
◇ GLAZING	--	--
◇ HORIZONTAL SIDING	--	--
◇ ASPHALT SHINGLES	--	--
◇ PREFINISHED GUTTER AND DOWNSPOUT	--	--
◇ AWNING	--	--
◇ TRIM	--	--
◇ SIDING	--	--

NOTE:
1. CARPENTER TO INSTALL IN-WALL BLOCKING AS NEEDED TO ALLOW EXTERIOR CORNER TRIM AND SIDING TO BE FASTENED PROPERLY



REVISIONS

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Newport, WI 53156
WWW.ANDERSONASHTON.COM



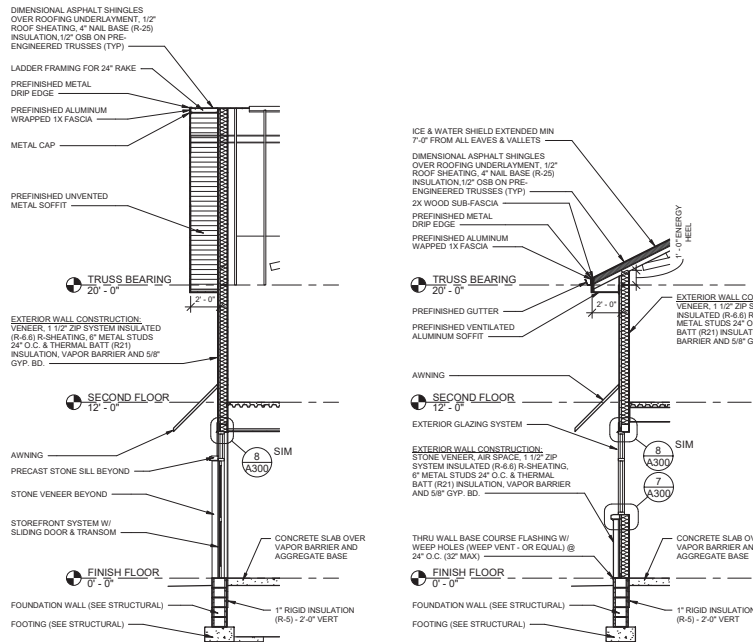
PROPOSED BUILDING FOR:
AMAN'S BEER + WINE
110 CHAPMAN FARM BOULEVARD MUKWAGO, WI

DRAFTED BY: LJA
DESIGNER: LM
ISSUE: 3/13/2021 9:33:41 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO.: P-2021-01
CONSTRUCTION NO.:

ELEVATIONS

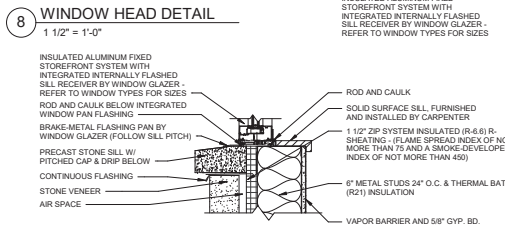
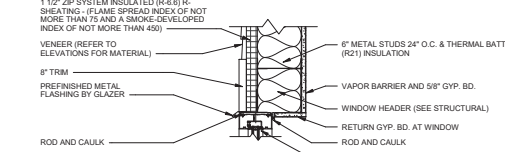
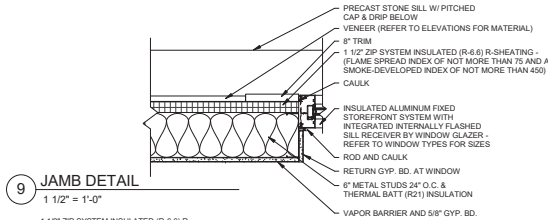
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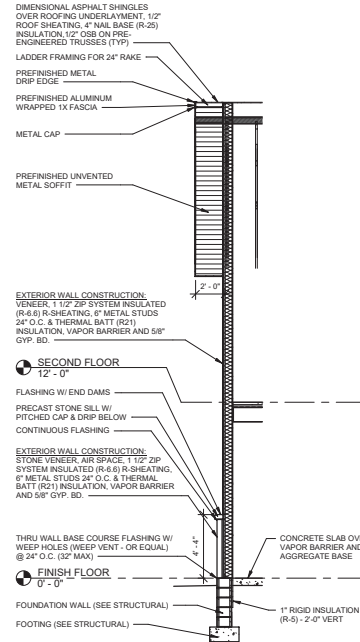


6 WALL SECTION 3
1/4" = 1'-0"

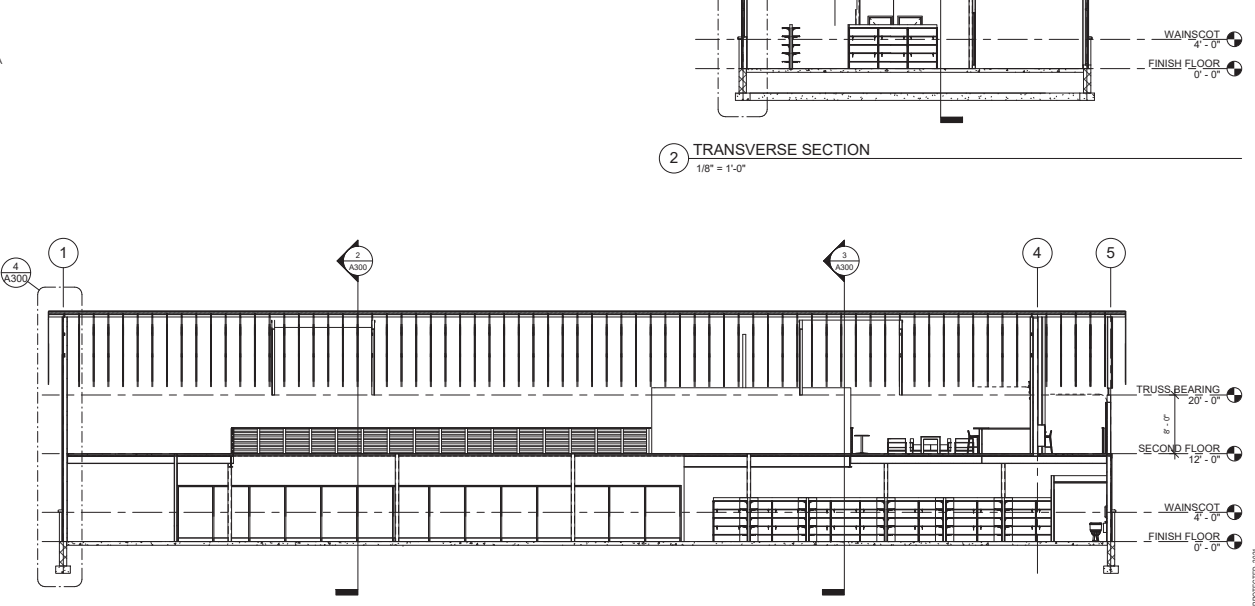
5 WALL SECTION 2
1/4" = 1'-0"



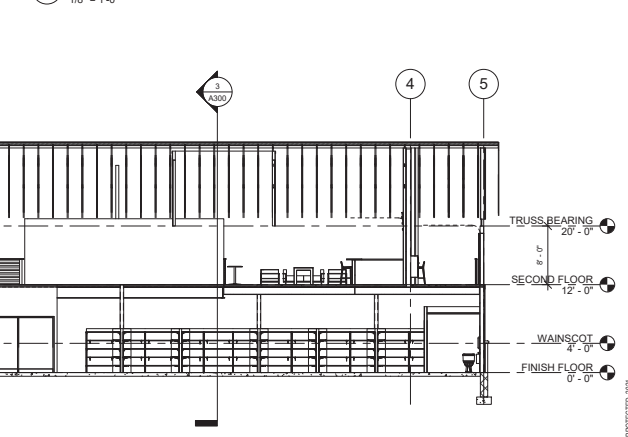
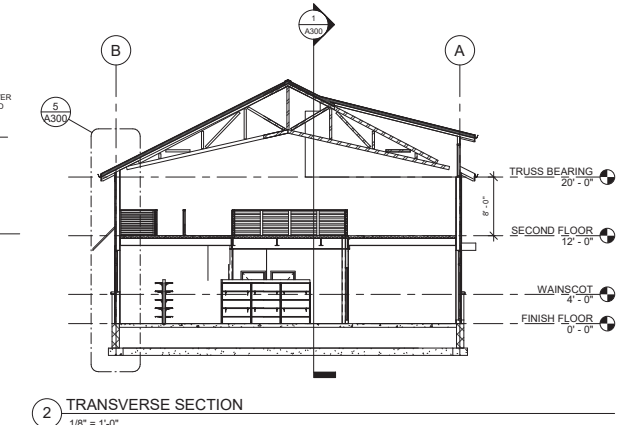
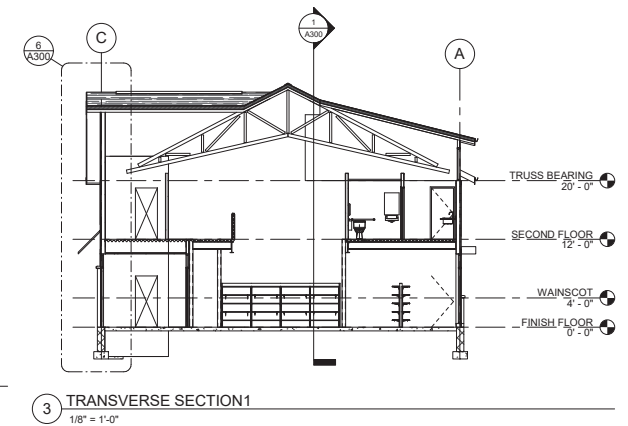
7 WINDOW SILL DETAIL
1 1/2" = 1'-0"



4 WALL SECTION
1/4" = 1'-0"



1 LONGITUDINAL SECTION
1/8" = 1'-0"



2 TRANSVERSE SECTION
1/8" = 1'-0"

REVISIONS	
1	ISSUED FOR PERMIT
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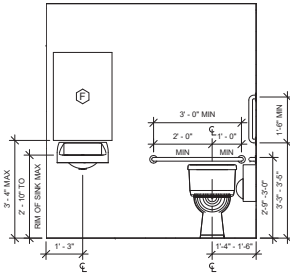
PROPOSED BUILDING FOR:
AMAN'S BEER + WINE

110 CHAPMAN FARM BOULEVARD, MUKWAGO, WI

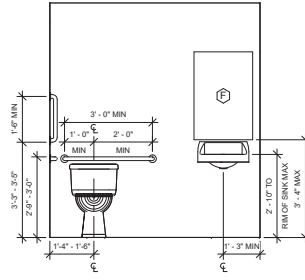
DESIGNED BY: **ASHKON**
DESIGNER: **ASHKON**
ISSUE: 5/13/2021 9:33:47 AM
SUBMITTAL DATE: 05/13/21
DESIGN NO.: **A300**
CONSTRUCTION NO.: **A300**

SECTION: **A300**

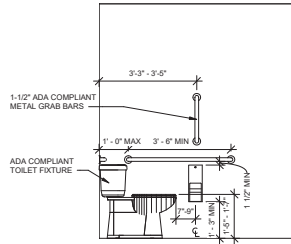
COPYRIGHT PROTECTED 2021



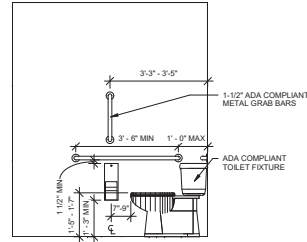
14 TLT 203 PLUMBING WALL
1/2" = 1'-0"



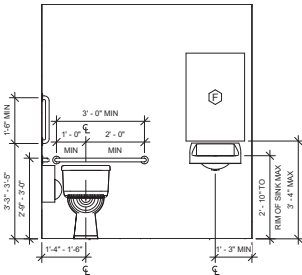
10 TLT 105 PLUMBING WALL
1/2" = 1'-0"



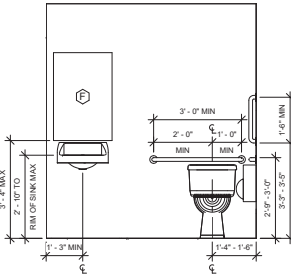
13 TLT 203 SIDE
1/2" = 1'-0"



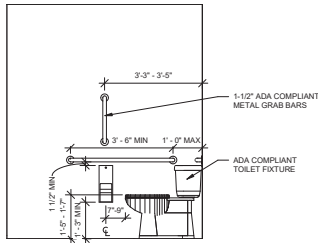
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1/2" = 1'-0"



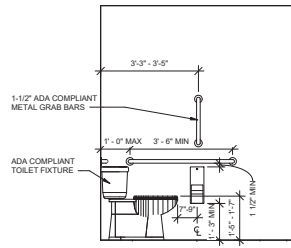
12 TLT 202 PLUMBING WALL
1/2" = 1'-0"



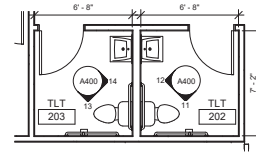
8 TLT 104 PLUMBING WALL
1/2" = 1'-0"



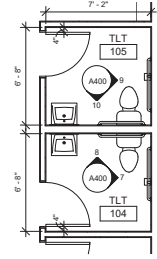
11 TLT 202 SIDE
1/2" = 1'-0"



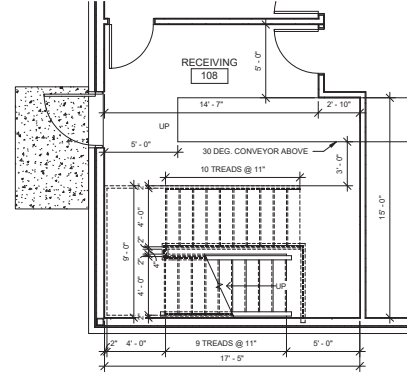
7 TLT 104 SIDE
1/2" = 1'-0"



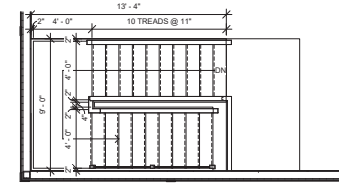
6 ENLARGED SECOND FLOOR TLT
1/4" = 1'-0"



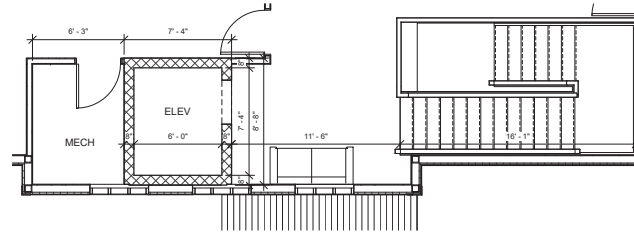
5 ENLARGED FIRST FLOOR TLT
1/4" = 1'-0"



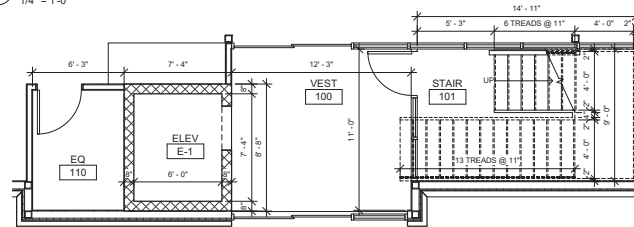
4 ENLARGED FIRST FLOOR RECEIVING
1/4" = 1'-0"



3 ENLARGED SECOND FLOOR RECEIVING
1/4" = 1'-0"



2 ENLARGED SECOND FLOOR ENTRANCE
1/4" = 1'-0"



1 ENLARGED FIRST FLOOR ENTRANCE
1/4" = 1'-0"



EAST FACADE



VESTIBULE VIEW 2



VESTIBULE VIEW 1



INTERIOR UPPER GUARDRAIL



VESTIBULE VIEW 3



WEST FACADE

REVISIONS

ANDERSON
ASKTON
DESIGN / BUILD
2746 South 96th Street
New Berlin, WI 53151
WWW.ANDERSONASKTON.COM



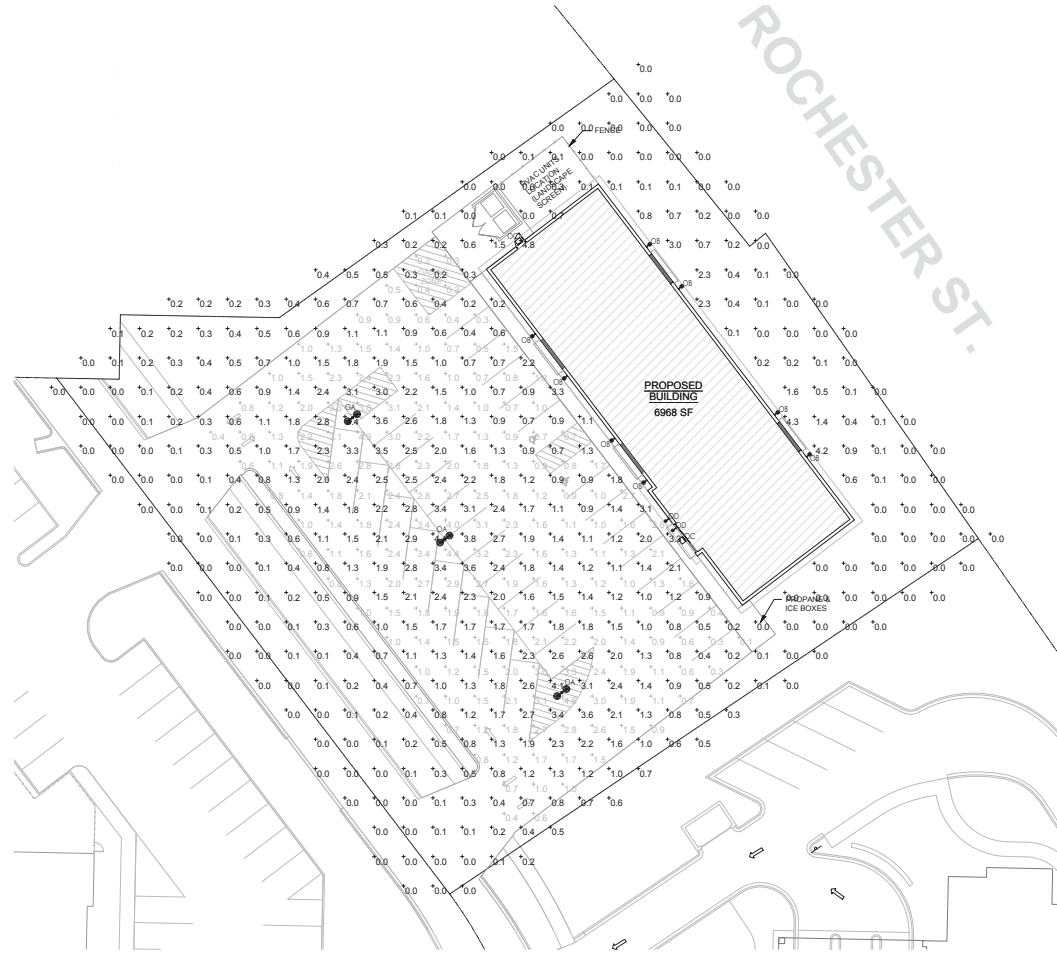
PROPOSED BUILDING FOR:
AMANI'S BEER + WINE
110 CHAPMAN FARM BOULEVARD, MUSKOGEE, WI

DRAFTED BY: JLN
DESIGNER: JLN
ISSUE: 3/13/2021 9:38:44 AM
SUBMITTAL DATE: XX-XX-XX
DESIGN NO.: P-0004
CONSTRUCTION NO.:

RENDERINGS

A900

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SITE PLAN - PHOTOMETRIC
SCALE: 1" = 20'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE	+	0.8 fc	4.8 fc	0.0 fc	N/A	N/A
PARKING LOT ZONE	+	1.6 fc	4.5 fc	0.1 fc	45.0:1	16.0:1

SITE LIGHTING FIXTURE SCHEDULE			LIGHTING FIXTURE		MOUNTING	DIMMING	DRIVER LOCATION	VOLT	SET NOTE
QTY	TYPE	LAMP DATA	DESCRIPTION	NAME	CATALOG NO.				
3	OA	2154W LED 30K 330SL	LED 180° TYPE 3 DOUBLE DECORATIVE POLE HEAD ON 20'-0" ROUND DECORATIVE POLE WITH BLACK FINISH & 3'-0" CONIC BASE	LUMEC (SIGNIFY/PHILIPS)	220M550-550W48-ED3K-1-LED3-10V-DWG-BKTX (HEADS) + (1)JLM-2-84-BKTX (ARM) + (1)JAMW-25-BKTX (POLE) + 3/4X27-10 1/2 DEC (BOLTS)	3'-0" CONIC BASE	0-10V	INTEGRAL 6 HEAD	208
8	OB	10W LED A-LAMP 30K	LED DECORATIVE RLM WALL MOUNTED FIXTURE WITH BLACK FINISH	SEAGULL	8837401-12	WALL 6'12'-0"	ELV	LAMP	120
2	OC	25W LED 30K 130SL	LED DOOR WALLPACK FIXTURE WITH BLACK FINISH & INTEGRAL EM DRIVER/HEATER	LINCHMA	WPT1 LED P1 25K MVOLT 14WVC DBLND	WALL 6'-0" / 12'-0"	0-10V	LAMP	120
2	OD	13W LED 30K 344L	LED DECORATIVE RLM WALL MOUNTED SIGN FIXTURE WITH BLACK FINISH	RAS LIGHTING	GR1LED13WCT118	WALL 6'27'-0"	ELV	SHADE	120



FIRM ADDRESS AND CONTACT:
128 E WISCONSIN AVENUE - SUITE A
PEWAWAKE, WI 53072
CONTACT: NATHAN STOPPENBACH
TEL: 262.366.6543
EMAIL: NATHAN@EDGESELECTRICWI.COM

PROJECT NAME:

AMAN'S BEER & WINE
ROCHESTER STREET & CHAPMAN FARM ROAD
MUKWONAGO, WISCONSIN 53149

Revisions	
Description	Date

SHEET TITLE:
Site Plan - Photometric

DRAWN BY:
RC

DATE:
02/11/2021

SHEET:
E0.1A



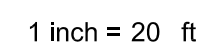
1110 CHAPMAN FARM BOULEVARD
MUKWONAGO, WISCONSIN

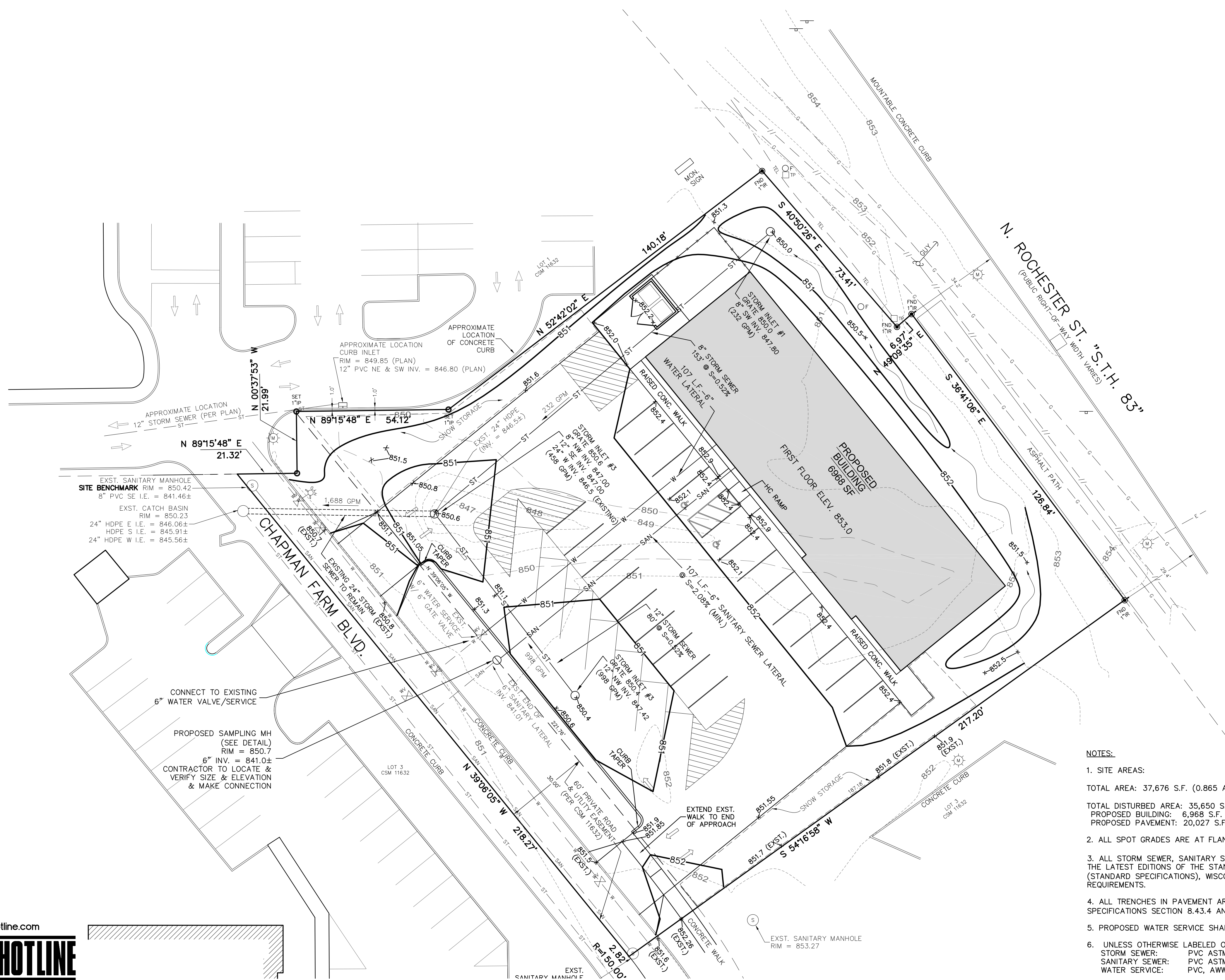
EMERGENCY ACCESS



Feet	
Tractor Width	: 8.01
Trailer Width	: 8.50
Tractor Track	: 8.01
Trailer Track	: 8.50

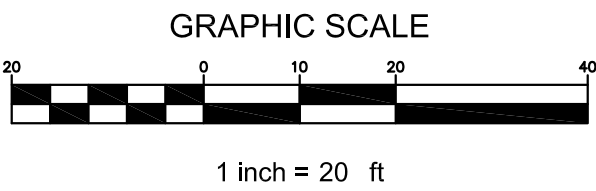
GRAPHIC SCALE





NOTES:

1. SITE AREAS:
TOTAL AREA: 37,676 S.F. (0.865 ACRES) TO 60' PRIVATE ROAD EASEMENT
TOTAL DISTURBED AREA: 35,650 S.F. (0.818 ACRES)
PROPOSED BUILDING: 6,968 S.F.
PROPOSED PAVEMENT: 20,027 S.F.
2. ALL SPOT GRADES ARE AT FLANGE LINE OR BOTTOM OF RAISED WALK.
3. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF MUKWONAGO REQUIREMENTS.
4. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 8.43.4 AND PER FILE NO.4 COMPACTED SECTION (CLASS "B" BEDDING).
5. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6.0 FEET OF COVER.
6. UNLESS OTHERWISE LABELED ON THE PLAN:
STORM SEWER: PVC ASTM D3034 OR ADS-HDPE
SANITARY SEWER: PVC ASTM D3034, SDR 35
WATER SERVICE: PVC, AWWA C900
7. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTION SIZE, LOCATION AND ELEVATION PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
8. SAMPLING MANHOLE PER VILLAGE OF MUKWONAGO SPECIFICATIONS. SEE DETAIL SHEET
9. MAINTAIN 6" MINIMUM VERTICAL WATER MAIN SEPARATION WITH ALL SANITARY AND STORM SEWERS WHEN CROSSING OVER AND 18" MINIMUM VERTICAL SEPARATION WITH ALL SANITARY AND STORM SEWERS WHEN CROSSING UNDER.
10. ALL DOWNSPOUTS FOR THE PROPOSED BUILDING TO SPILL TO GRADE AND BE DIRECTED TO THE ONSITE STORM SEWER SYSTEM.
11. STORM WATER MANAGEMENT PROVIDED BY REGIONAL STORM WATER FACILITY.
12. FOR INLET #3: CONTRACTOR TO LOCATE AND VERIFY SIZE AND ELEVATION OF EXISTING 24" END SECTION AND REPLACE WITH INLET #3. CONTACT ENGINEER WITH ANY DISCREPANCIES.



www.DiggersHotline.com

DIGGERS HOTLINE

DIAL 811 OR (800) 242-8511

LEGEND	
---852---	EXISTING CONTOUR
—852—	PROPOSED CONTOUR
x 852.5	PROPOSED ELEVATION
—ST—	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
—SAN—	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
—W—	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN
—G—	BURIED GAS MAIN
—E—	OVER HEAD WIRE
—E—	BURIED ELECTRIC

AMAN'S BEER + WINE

110 CHAPMAN FARM BOULEVARD MUKWONAGO, WISCONSIN

SITE GRADING & UTILITY PLAN

C1.0

EROSION CONTROL PRACTICES SCHEDULE

- ① SILT FENCE
② TRACKING PAD
③ INLET PROTECTION
④ EROSION MAT
⑤ DITCH CHECK

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER "WISDOT EROSION CONTROL PAL" (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, OUTLET BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

www.DiggersHotline.com



LEGEND

- 852 --- EXISTING CONTOUR
— 852 — PROPOSED CONTOUR
x 852.5 PROPOSED ELEVATION
— ST — PROPOSED STORM SEWER
— ST — EXISTING STORM SEWER
□ □ SILT FENCE

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG EXISTING END OF 24" STORM END SECTION FOR PROTECTION.
3. INSTALL CONSTRUCTION EXIT.
4. INSTALL SILT FENCE.
5. REMOVE AND STOCKPILE TOPSOIL. PROVIDE SILT FENCE AND TEMPORARY STABILIZATION.
6. ROUGH GRADE SITE.
7. INSTALL DITCH CHECK AT REAR OF BUILDING ALONG SWALE.
8. INSTALL PROPOSED UTILITIES.
9. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
10. INSTALL BASE COURSE OF PAVEMENT.
11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
13. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
14. ESTIMATED TIME BEFORE FINAL STABILIZATION — 8 MONTHS.

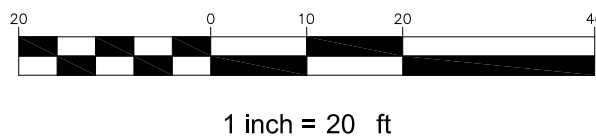
MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF—PRODUCTION RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.
5. THE EROSION AND SEDIMENT CONTROL DEVICES THAT ARE SHOWN ARE A MINIMUM REQUIREMENT AND THAT AS A RESULT OF CONSTRUCTION ACTIVITIES, ADDITIONAL MEASURES MAY BE NECESSARY AS DIRECTED BY THE VILLAGE OF MUKWONAGO, THEIR ENGINEER, OR ANY GOVERNING AGENCY.

NOTES:

1. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF MUKWONAGO STANDARDS AND WDNr CPS TECHNICAL STANDARDS. MODIFICATIONS TO THE CONSTRUCTION SCHEDULE REQUIRE SUBMITTAL TO AND APPROVAL BY THE VILLAGE OF MUKWONAGO.
 2. ALL EXPOSED SOIL AREAS NOT DISTURBED WITHIN SEVEN (7) DAYS SHALL BE IMMEDIATELY RESTORED WITH SEED AND MULCH OR POLYMER.
- SEE WDNr TECHNICAL STANDARD 1059 FOR SEEDING DURING GROWING SEASON (SOIL TEMPERATURES REMAIN CONSISTENTLY ABOVE 53°).

GRAPHIC SCALE



TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 – OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Grass	131*	95
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 – MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) – SEE WDNr TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNr TECHNICAL STANDARD 1050 AND THE MANUFACTURERS' SPECIFICATIONS.

PRESCRIPTIVE COMPLIANCE AREAS:

PER WDNr NR151.11 WS. ADM. CODE
MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)
LAND DISTURBANCE BETWEEN SEPT. 16TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPT. 15TH

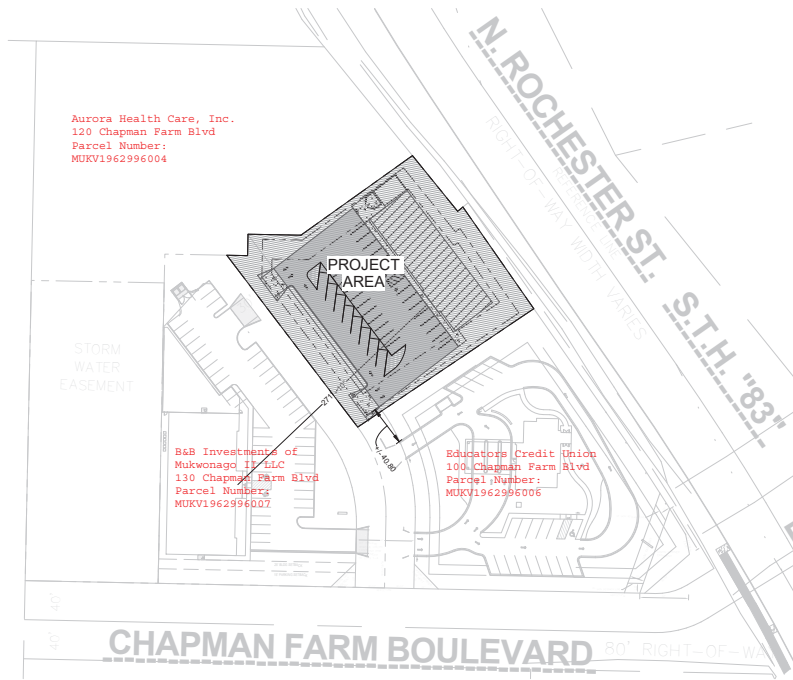
EROSION CONTROL PLAN
C2.0

CJE NO.: 2106RI
FEBRUARY II, 2021
FEBRUARY 22, 2021

AMAN'S BEER + WINE

110 CHAPMAN FARM BOULEVARD MUKWONAGO, WISCONSIN

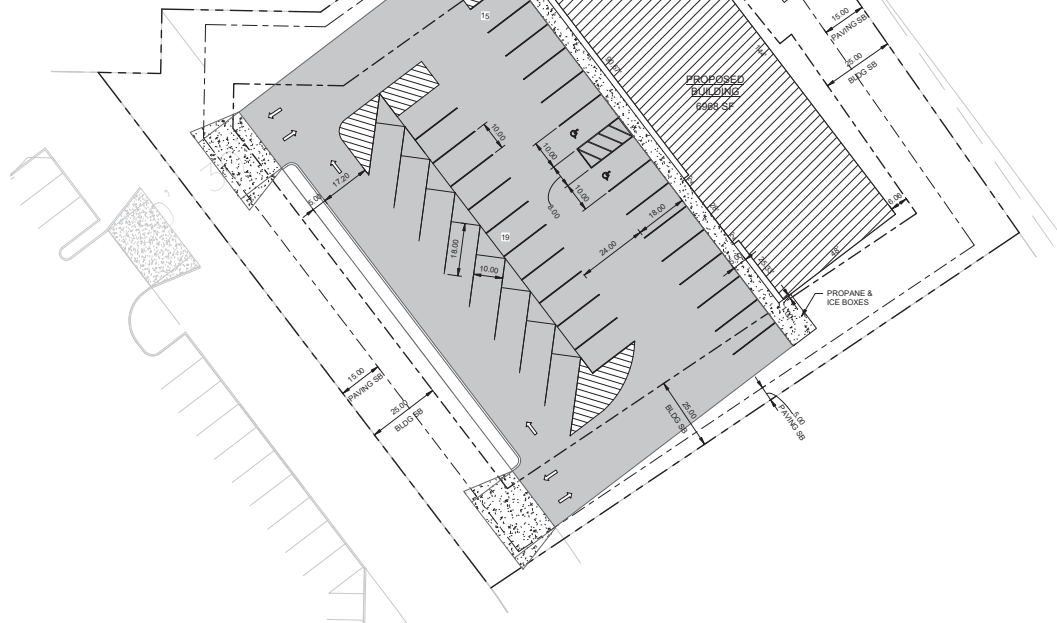
CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com



KEY PLAN

BLACK BEAR BLVD

1 ARCHITECTURAL SITE PLAN
1" = 20'-0"



ZONING	
ZONED:	B-3 "COMMUNITY BUSINESS DISTRICT"
MIN. BUILDING SETBACKS (FT):	STREET YARD: 25 INTERIOR SIDE YARD: 5 REAR YARD: 25
PAVING SETBACKS (FT):	*FROM ANY PROPERTY LINE: 15
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: 2/35 ACCESSORY BUILDING: 1/20
PARKING	
PARKING REQUIREMENTS:	FOUR SPACES PER 1,000 SQUARE FEET OF THE TOTAL SIZE OF BUILDING OR LEASED SPACE
	ONE SPACE FOR EVERY THREE SEATS (ONE SEAT-TEN SQUARE FEET OF SEATING AND STANDING CUSTOMER AREA) PLUS ONE SPACE PER EMPLOYEE
TOTAL STALLS REQUIRED:	30
TOTAL STALLS PROPOSED:	34
TOTAL ACCESSIBLE STALLS REQUIRED:	4
TOTAL ACCESSIBLE STALLS PROPOSED:	(2)
*PAVING SIDE SETBACK CHANGED FROM 15' TO 5'	

REVISIONS

ANDERSON-ASHTON, INC.
DESIGN / BUILD
110 CHAPMAN FARM BOULEVARD, SUITE 100
MUKWONAGO, IL 60067
NEW BRUNSWICK, NJ 07033
WWW.ANDERSON-ASHTON.COM

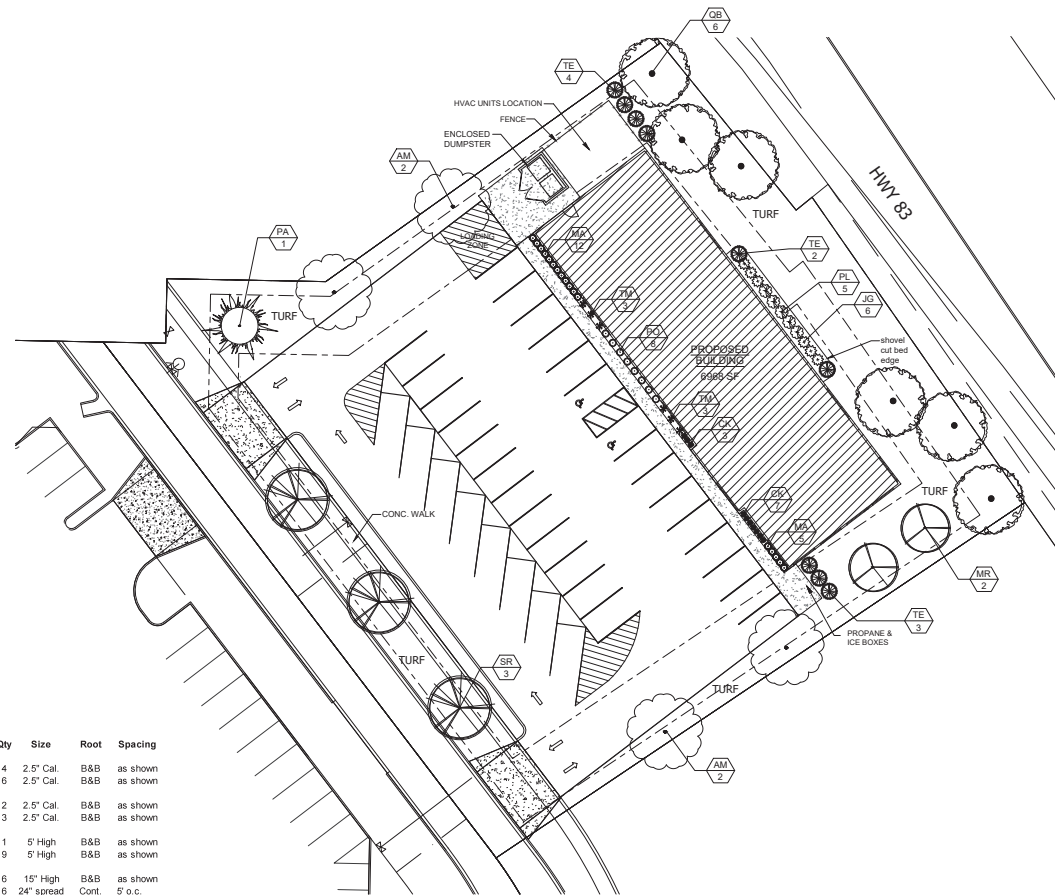
PROPOSED BUILDING FOR:
AMAN'S BEER + WINE
110 CHAPMAN FARM BOULEVARD, MUKWONAGO, WI

DRAFTED BY: UN
DESIGNER: UN
ISSUE: 01/20/2021 9:25:19 AM
SUBMITTAL DATE: 01/20/2021
DESIGN NO.: P-02841
CONSTRUCTION NO.: 1

AS01



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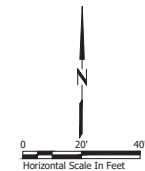
Plant Schedule

Key	Botanical Name	Common Name	Qty	Size	Root	Spacing
Shade Trees						
AM	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	4	2.5" Cal.	B&B	as shown
QB	Quercus bicolor	Swamp White Oak	6	2.5" Cal.	B&B	as shown
Ornamental Trees						
MR	Malus 'Royal Raindrops'	Royal Raindrops Crab	2	2.5" Cal.	B&B	as shown
SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	3	2.5" Cal.	B&B	as shown
Evergreen Trees						
PA	Pinus abies	Norway Spruce	1	5' High	B&B	as shown
TE	Thuja occidentalis 'Emerald'	Emerald Arborvitae	9	5' High	B&B	as shown
Evergreen Shrubs						
TM	Thuja occidentalis 'Bobolink Mr. Bowling Ball'	Mr. Bowling Ball Arborvitae	6	15" High	B&B	as shown
JG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	6	24" spread	Cont.	5' o.c.
Deciduous Shrubs						
PL	Physocarpus opulifolius 'Lemon Candy'	Lemon Candy Ninebark	5	18" High	Cont.	3' o.c.
PO	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	8	18" High	Cont.	4' o.c.
Perennials and Grasses						
CK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	10	1 Gal.	Cont.	20" o.c.
MA	Miscanthus sinensis 'Adagio'	Adagio Maidengrass	17	1 Gal.	Cont.	48" o.c.



Gerard A. Rewolinski

LANDSCAPE PLAN



PLANTINGS, STRUCTURES AND OTHER REPRESENTATIONS SHOWN ON THIS PLAN ARE FOR THE PURPOSE OF CONVEYING LANDSCAPE DESIGN FEATURES. REFER TO PREPARED CONTRACT DOCUMENTS FOR SPECIFIC ITEMS INCLUDED IN ANY PARTICULAR PHASE OF LANDSCAPE CONSTRUCTION.



Premier Landscapes

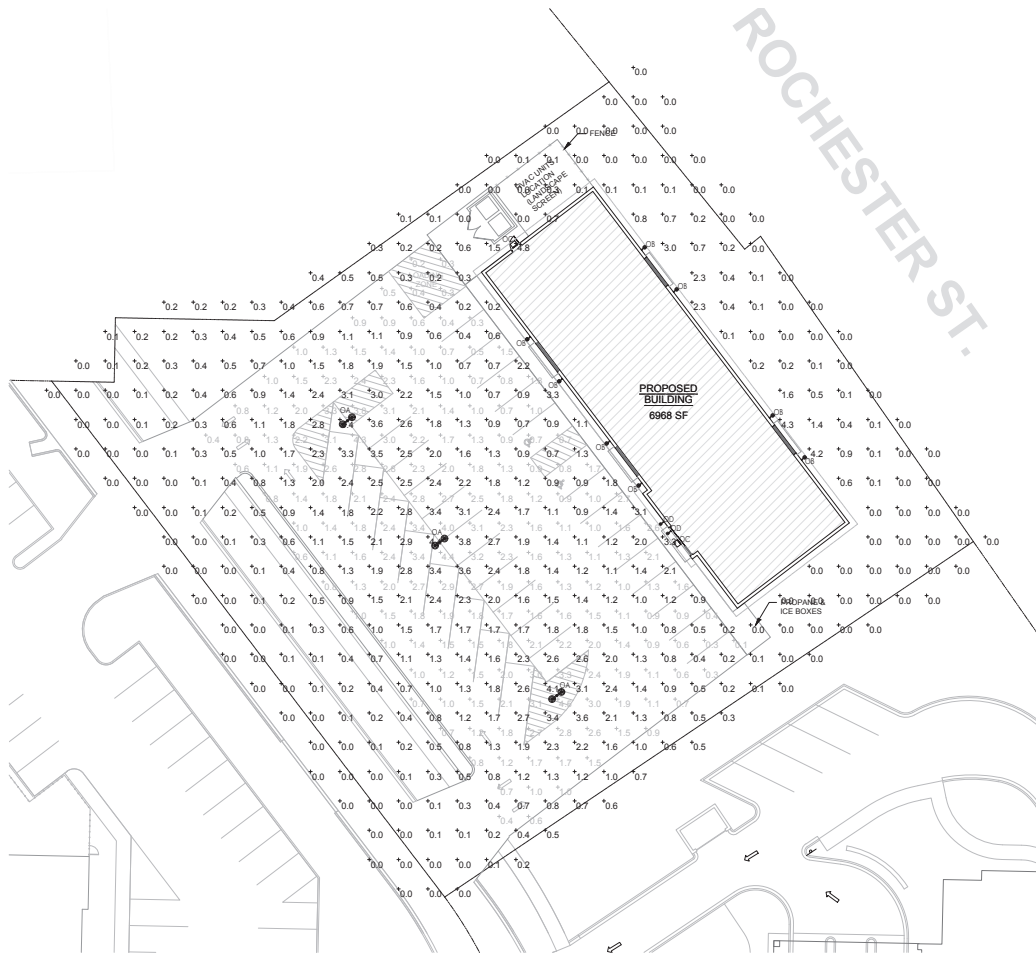
LANDSCAPE DEVELOPMENT FOR
MUKWONAGO LIQUOR
MUKWONAGO, WISCONSIN

LANDSCAPE ARCHITECTURE

DESIGN BY: GAR
DRAWN BY: GAR
DATE: 2/5/2021
REVISED:
SCALE: 1"=20'-0"
SHEET: L100

TREES ON THE MOVE

5611 S. Calhoun Road
New Berlin, WI 53151
Phone: (262) 679-5200
treesonthemove.com



SITE PLAN - PHOTOMETRIC
SCALE: 1" = 20'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE	+	0.8 fc	4.8 fc	0.0 fc	N/A	N/A
PARKING LOT ZONE	+	1.6 fc	4.5 fc	0.1 fc	45.0:1	16.0:1

SITE LIGHTING FIXTURE SCHEDULE

QTY	TYPE	LAMP DATA	DESCRIPTION	LIGHTING FIXTURE	CATALOG NO.	MOUNTING	DIMMING	DRIVER	VOLT	SET
				NAME				LOCATION		NOTE
3	OA	2154W LED 30K 330SL	LED 180° TYPE 3 DOUBLE DECORATIVE POLE HEAD ON 20'-0" ROUND DECORATIVE POLE WITH BLACK FINISH & 3'-0" CONIC BASE	LUMEC (SIGNIFY/PHILIPS)	220M550-550W48-ED3K-1-LED3-10V-DMG-BKTX (HEADS) + (1)3M-2-84-BKTX (ARM) + (1)JAMW-25-BKTX (POLE) + 3/4X27-10 1/2 DEC (BOLTS)	3'-0" CONIC BASE	0-10V	INTEGRAL 6 HEAD	208	
8	OB	10W LED A-LAMP 30K	LED DECORATIVE RLM WALL MOUNTED FIXTURE WITH BLACK FINISH	SEAGULL	8837401-12	WALL 6'12'-0"	ELV	LAMP	120	
2	OC	25W LED 30K 130SL	LED DOOR WALLPACK FIXTURE WITH BLACK FINISH & INTEGRAL 6W DRIVER/HEATER	LINCHMA	WPT1 LED P1 25K MVOLT 141WVC DBLND	WALL 6'-0" / 12'-0"	0-10V	LAMP	120	
2	OD	13W LED 30K 344L	LED DECORATIVE RLM WALL MOUNTED SIGN FIXTURE WITH BLACK FINISH	RAS LIGHTING	GR1LED13WCT118	WALL 6'27'-0"	ELV	SHADE	120	



FIRM ADDRESS AND CONTACT:
128 E WISCONSIN AVENUE - SUITE A
PEWaukee, WI 53072
CONTACT: NATHAN STOPPENBACH
TEL: 262.366.6343
EMAIL: NATHAN@EDGESELECTRIC.COM

PROJECT NAME:

AMAN'S BEER & WINE
ROCHESTER STREET & CHAPMAN FARM ROAD
MUKWONAGO, WISCONSIN 53149

Revisions	
Description	Date

SHEET TITLE:
Site Plan -
Photometric

DRAWN BY:
RC

DATE:
02/11/2021

SHEET:
E0.1A

February 22, 2021

Mr. John Fellows, Assoc. AIA, CPM, AICP
Community Planner
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Aman's Beer & Wine
Preliminary Storm Water Review

Dear Mr. Fellows:

We have reviewed the submittal for Aman's Beer & Wine in the Village. The submitted documents included various site, utility, and grading plans. All documents are dated February 12, 2021 and were received in our office on February 17, 2021. This review is required by the Village Storm Water Ordinance to determine if early site planning has accounted for the requirements of the Ordinance and, in this case, the regional storm water management plan dated August 30, 2017 by JSD Professional Services, Inc. The intent is to avoid large changes to developments after the Planning Commission and Village Board have approved the concept and site plan.

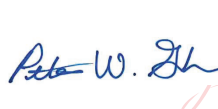
We believe the plans, as submitted, can meet the requirements of the Village Ordinance and the regional storm water management plan and as such this letter will serve as the preliminary storm water review letter as detailed in 34-107(b) of the Village Ordinance. A full detailed technical review of the construction plans will be performed, prior to recommendation for approval for construction.

If the Planning Commission and the Village Board would choose to approve these documents, we would request that you make approvals subject to our detailed technical review of the construction drawings for the requirements of the Department Heads and Village Ordinances. We also request that the permits to allow construction be withheld until this technical review is complete.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.

 Digitally signed by
Peter W. Gesch
Date: 2021.02.22
07:00:38 -06'00'

Peter W. Gesch, E.I.T.
Project Engineer
pgesch@ruekertmielke.com

PWG:pwg

cc: John Weidl, Village of Mukwonago
Diana Dkystra, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

February 22, 2021

Mr. John Fellows, Assoc. AIA, CPM, AICP
Community Planner
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Re: Aman's Beer & Wine
Review Comments

Dear Mr. Fellows:

We have reviewed the submittal for Aman's Beer & Wine in the Village. The submitted documents included various site, utility, and grading plans. All documents are dated February 12, 2021 and were received in our office on February 17, 2021. We have reviewed the submitted documents for compliance the Village Ordinances, Village Standard Specifications, and requirements of the Department Heads. We offer the following:

1. Storm water for the site is handled by the regional storm water management facilities as approved in the regional storm water management plan (SWMP) dated August 30, 2017 by JSD Professional Services, Inc. Our check of the submitted plans against the regional SWMP found that the proposed site Curve Number (CN) is roughly 88. The site lies within a basin with a proposed CN of 90, in the regional SWMP. Therefore, the site appears to be in compliance with the regional SWMP. However, the plans are lacking any reference of compliance to the regional SWMP. The plans should include a reference to the regional SWMP and how the site is in compliance with the SWMP.
2. The plans should be stamped and signed by a Professional Engineer licensed to practice in the state of Wisconsin.
3. Sidewalk on the site is only shown to extend to the end of the southern most driveway approach. If sidewalk is planned to be extended to the end of the site by Aurora, this should be shown on the plans as "future" and included in reference/consideration of this site's compliance with the regional SWMP.
4. The WB-50 turning template appears to just make the turn into the development as well as through the parking lot with slight encroachment into the parking stalls adjacent to the front of the building. Please verify with Chief Stien of the Mukwonago Fire Department that this tight turning radius is acceptable to him to provide appropriate fire response to the site.
5. It is recommended to include inlet protection in the inlets adjacent to the roadway to minimize the chance of the existing storm sewer and inlets being filled/clogged if sediment laden runoff escapes the site.
6. Item #13 of the Construction Schedule states that temporary erosion control measures may be removed after the site is stabilized. However, the measures should not be removed until the site reaches 70% vegetation growth. Perhaps, this is the intent of the note and clarification is all that is needed.
7. On Sheet C2.0 there is a table that references a sediment basin or sediment trap and then a maximum period of bare soil exposure. The maximum period appears to be missing and the reference of a sediment basin/trap appears not to apply. The table should be included in full or

modified/deleted. Unless, of course, a sediment trap is proposed, then it should be shown on the plans.

Our review did not include a detailed check of all engineering and survey data indicated on the drawings. The accuracy of this data is the responsibility of CJ Engineering.

If you or any staff member should have any questions regarding this, please feel free to contact me at (262) 542-5733.

Respectfully,

RUEKERT & MIELKE, INC.

Peter W. Gesch, E.I.T.
Project Engineer
pgesch@ruekertmielke.com

PWG:pwg

cc: John Weidl, Village of Mukwonago
Diana Dkystra, Village of Mukwonago
Bob Harley, Village of Mukwonago
Mark G. Blum, Village of Mukwonago
Dave Brown, Village of Mukwonago
Ron Bittner, Village of Mukwonago
Jerad J. Wegner, P.E., Ruekert & Mielke, Inc.

RESOLUTION 2021-09
Village of Mukwonago Order Granting a
Conditional
Use and Prescribing Conditions for an Assembly
Hall for VM INVESTMENTS (Aman's Beer and Wine),
located at 110 Chapman Farm Blvd

WHEREAS, **SARAB INVESTMENTS (AMAN'S BEER AND WINE)** (hereinafter "property owner") owns the property located at 110 Chapman Farm Blvd (hereinafter "subject property") in the Village of Mukwonago, more particularly described as follows:

LOT 2 CSM #11632 VOL 116/222 REC AS DOC #4305019 REDIV LOT 1 CSM #11572 VOL 115/277 PT SW1/4 NW1/4 SEC 23 T5N R18E :: INCLUDING A RECIPROCAL PRIVATE ROAD EASEMENT AS DESC IN DOC #4305023 :: INCLUDING RECIPROCAL PARKING EASEMENT AS DESC IN DOC #4340356 AND RECORDED ON MAY 22, 2018 :: ALSO RECIPROCAL PARKING EASEMENT AS DESC IN DOC #4358842 :: DOC #4304879 and

WHEREAS, and **VM INVESTMENTS** (hereinafter "tenant") leases tenant space identified as 110 Chapman Farm Blvd (hereinafter "subject property") in the Village of Mukwonago, more particularly described as follows:

WHEREAS, the property owner has, consistent with the Village of Mukwonago's zoning regulations, submitted a conditional use application for a secondhand store; and

WHEREAS, and **VM INVESTMENTS** the tenant has, consistent with the Village of Mukwonago's zoning regulations, submitted a conditional use application for a secondhand store; and

WHEREAS, upon receipt of the petition submitted by the property owner/tenant, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on March 9, 2021 to consider the petitioner's request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner's request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent

Return to:

Diana Dykstra, Clerk-Treasurer
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Parcel Number: MUKV 1962-996-005

with the standards in the Comprehensive Plan.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to operate a secondhand store as set forth herein and as specified in the Village's zoning code.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
 - a. The property owner must submit site/architectural plans to the Village for review and obtain approval of the same within 9 months of the date of this decision.
 - b. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing within 6 months of the date of this decision. Prior to such expiration, the property owner may request an extension to this time period and the Village Clerk may approve an extension with good cause.
 - c. This order must be recorded against the subject property in the Waukesha County register of deeds office (only if subsections 3(a) through 3(b) have been satisfied).

In the event the requirements enumerated in subsections 3(a) and 3(b) above are not satisfied, this order shall automatically be null and void without any further action by the Village of Mukwonago on the aforementioned date.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
 - a. The authorized use shall not be conducted in such a way so as to exceed on-site parking.
 - b. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
 - c. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
 - d. Potable water and sanitation must be provided and maintained.

- e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
- f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County, and Village of Mukwonago.
- g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j. A secured and physical barrier between the retail store and the banqueting facility shall be maintained at all times during the operation of either entity.
- k. Employees shall park within the parking spaces located near the private road (This is required because the turning movement of a fire truck is difficult at this site and if a fire call were to happen then there is less possibility that the fire truck will have to work around long term parked vehicles.)
- l. The front of the dumpster enclosure shall not be blocked by vehicles or other items.
- m. Outdoor convenience items such as ice and propane shall be screened on all sides.
- n. Banqueting Facility (tasting area and terrace) hours of operation shall be from 12 noon to 12 pm Daily.
- o. Proper liquor license (A and B) shall be maintained at all time.
- p. All lighting within the parking lot and building lighting shall be full cut of lighting. Building lighting shall not direct light or the appearance of light towards State Trunk Highway 83. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new conditional use approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of Mukwonago staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of Mukwonago's zoning regulations.

10. **Private rights.** This approval is given under the Village of Mukwonago's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of Mukwonago's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this 17th day of March, 2021

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Diana Dykstra, Village Clerk

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this ____ day of _____ 2021, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the 17th day of March, 2020.

NOTARY PUBLIC

My Commission Expires:

The remainder of this page left intentionally blank

Acceptance by Property Owner

I, Aman Singh, verify that I am an authorized agent for **SARAB INVESTMENTS** accepts the terms stated herein.

Dated this _____ day of _____, 2021

Aman Singh, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this ____ day of _____, 2021, the above-named person, Aman Singh, to me known to be the person who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:

Acceptance by Tenant

I, Aman Singh, verify that I am an authorized agent for **VM INVESTMENTS** accepts the terms stated herein.

Dated this _____ day of _____, 2021

Aman Singh, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this ____ day of _____, 2021, the above-named person, Aman Singh, to me known to be the person who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:

Drafted by John S. Fellows, AICP, Planner, at the direction of the Mukwonago Village Board.

RESOLUTION 2021-10

**RESOLUTION APPROVING SITE PLAN AND ARCHITECTURAL REVIEW
FOR A LIQUOR STORE AND ASSEMBLY HALL FOR;
SARAB INVESTMENTS / VM INVESTMENTS / AMAN'S BEER AND WINE, APPLICANT
110 CHAPMAN FARM BLVD; MUKV1962-996-005**

WHEREAS, pursuant to Section 100-601, and 100-153 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval of a liquor store and banquet facility, within the B-3, Community Business District, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by SARAB INVESTMENTS / VM INVESTMENTS / AMAN'S BEER AND WINE, and

WHEREAS, a Liquor store and Banqueting Facility in the B-3, Community Business District in which the subject property is located, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Village Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for a secondhand store at 110 Chapman Farm Blvd, based upon the plan of operation and plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED this site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. The developer shall comply with comments from Ruekert-Mielke letters regarding stormwater and utilities.
9. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
10. Plans must allow for a WB-50 vehicle to access the site.

Village of Mukwonago
Walworth and Waukesha Counties, State of Wisconsin

11. A dedicated hydrant for FDC and suppression system must be provided.
12. All lighting within the parking lot and building lighting shall be full cut of lighting. Building lighting shall not direct light or the appearance of light towards State Trunk Highway 83. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
13. The applicant applies for and receiving approval for all new signage.
14. Plans for a trash dumpster shall be submitted and approved by the Village Planner. Trash dumpsters shall be screened from public rights-of-way and adjacent property by an enclosure with walls a minimum of six feet in height. The walls shall be constructed of masonry compatible with materials used on the principal building. Access gates shall be constructed of woven wire fencing with opaque screening material. It is preferred that a screened pedestrian entrance be provided such that waste may be deposited without opening the large access gates. Any future exterior modification to the tenant space (doors, windows, canopies, painting) shall require Site Plan and Architectural Review.
15. Fencing material shall be submitted and approved by the Village Planner. Fencing shall be a black aluminum ornamental fence.
16. Landscaping Plans shall be updated:
 - a. To reflect proper lot configuration, setbacks etc.
 - b. To replace the Ivory Silk Japanese tree lilac adjacent to the private road shall be replaced with a either a more columnar street tolerant tree species, or a species that will grow tall and then branch out having a high canopy.
 - c. To add additional foundation plantings along Route 83 and provide a more curvilinear planting bed. Foundations plantings shall be deciduous, and evergreen include shrubs and plants, and shall provide a variety of plants that will allow for blooms to be provided throughout the growing season.
17. The applicant shall work with the Village Planner prior to permitting to modify the façade and introduce an architectural stone product at the entry of the structure and along the 83 façade under the upward datum to allow for better coordination of materials with surrounding existing structures.
18. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 17th day of March 2021.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra, Village Clerk-Treasurer



PLANNING COMMISSION

February 9, 2021 at 6:30pm
Mukwonago, WI

CONDITIONAL USE PERMIT

201 South Rochester Street Parcel Number: M MUKV1976-121

Case Summary

Parcel Data

Proposal:	Secondhand Store
Applicant:	Josh and Tonia Property Management, LLC (tenant), RED CORNER INVESTMENTS LLC (property owner)
Request:	Conditional Use Permit for a Secondhand Store
Staff Recommendation:	Approve
Planning Commission Recommendation:	Pending

Parcel Characteristics / Conditions

Acreage:	8.2559
Current Use:	Vacant Retail Space
Proposed Use:	Secondhand Store
Reason for Request:	New Tenant
Land Use Classification:	Low Intensity Commercial Business / Village Center Downtown Overlay
Zoning Classification:	B-2 General Business District / Village Center Overlay
Census Tract:	2039.01

Public Notice

A public hearing notice was published two times in the Waukesha Freeman, and letters were mailed to surrounding property owners. Public comment as of this date, staff has not received any comments or other communications regarding this proposal.

Site Plan and Architectural Review Request

Architectural Review	The applicant is proposing to make no exterior structural modifications to the building at this time.
Site Modifications	No Modifications proposed at this time
Utilities	No modification to utilities is planned
Stormwater Management	No modification to are planned or required.
Wetlands	None

Signage	Will be reviewed by Staff at a future date.
Parking	Not Required.
Landscaping	No modifications at this time.
Trash Enclosure	None all trash will be contained within the building.
Fencing	No modifications proposed
Outdoor Lighting	No modifications proposed
Misc. Performance Standards	None

Conditional Use Request

About the Business:

Josh and Tonia Property Management, LLC is a small business employing the maximum of 5 individuals at any given time. They will operate a resell store that will be selling antiques, gifts, and furniture items. Their inventory will consist of items from Foreclosure, clean out as well as items that are purchased at estate sales and auctions. They are entering into a 3 year lease with a land contract at the end of the lease if not purchased prior to the lease end.

Harmony with Village policies, ordinances, and programs

The applicant has stated "Our Purpose is to help folks in need of furniture, clothing, items that we will take in for donations. We will have county wide prom dress give always, toys for tots, winter clothing (coat) drives to help keep everyone warm."

Our store would give the community a place to shop for antiques, furniture, and other items of similar taste, with also the opportunity to consign items for sale through our store. We hope to be able to give back to the community with donations of items that less fortunate people may need.

Specific Location within harmony with Village policies, ordinances and programs

Being able to operate out of the location will be great value as it is a center point in the city, a vacant building that now could have occupancy. Changing window designs each month to bring something new for the 16000 plus people that drive through the intersection each week is just one focus.

Potential Adverse Impact on surrounding:

We have not plans to change the building or property in any manner other than any updates that would be required by the Village of us to do.

Maintaining consistency within the environs of the property:

Our building will remain the same without change to structure of the property.

Adequate Services

Yes the property will be serviceable by all agencies without any problems or modifications needed.

Benefits of the use outweigh adverse impacts

I believe the public will benefit from a store here in this location as many have hated to see the building sit vacant. This store will bring people into the village to shop and dine at all the restaurant in town as our sales also stream from online, bringing customers to the store.

Hours of Operation:

Hours of operation are planned to be within the hours of 8am to 9 pm. Hours vary by day of the week and season.

Conditional Use Process / Findings

Review procedures The Plan Commission holds the public hearing and makes a recommendation to the Village Board which makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect the public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

Recommendation

Site Plan and Architectural Review

Staff recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of plans to the Village planner. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction.
2. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives.
3. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
4. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.
6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Supervisor of Inspections are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
9. The applicant applies for and receiving approval for all new signage on the tenant location,
10. Any future exterior modification to the tenant space (doors, windows, canopies, painting) shall require Site Plan and Architectural Review.
11. Any future modification to the site such as modification of parking, lighting, grading, retaining walls, fences, etc. shall require Site Plan and Architectural Review.

Conditional Use

Staff Recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in the attached resolution.

To – Grant a Conditional Use permit for a Secondhand Store for Circle of Friends Thrift Shop subject to the following on going conditions deemed necessary to protect the health, safety, and welfare

1. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
 - a. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
 - b. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
 - c. Potable water and sanitation must be provided and maintained.
 - d. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
 - e. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Walworth County, and Village of Mukwonago.
 - f. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
 - g. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
 - h. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
 - i. The Secondhand store shall operate between the hours of 8 am to 9pm
 - j. No Drop off collections will occur.

and determining that the conditions are consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

Attachments

1. Maps
2. Resolution 2021-XX for approval of a Conditional Use



Village of Mukwonago GIS
201 S Rochester Conditional Use

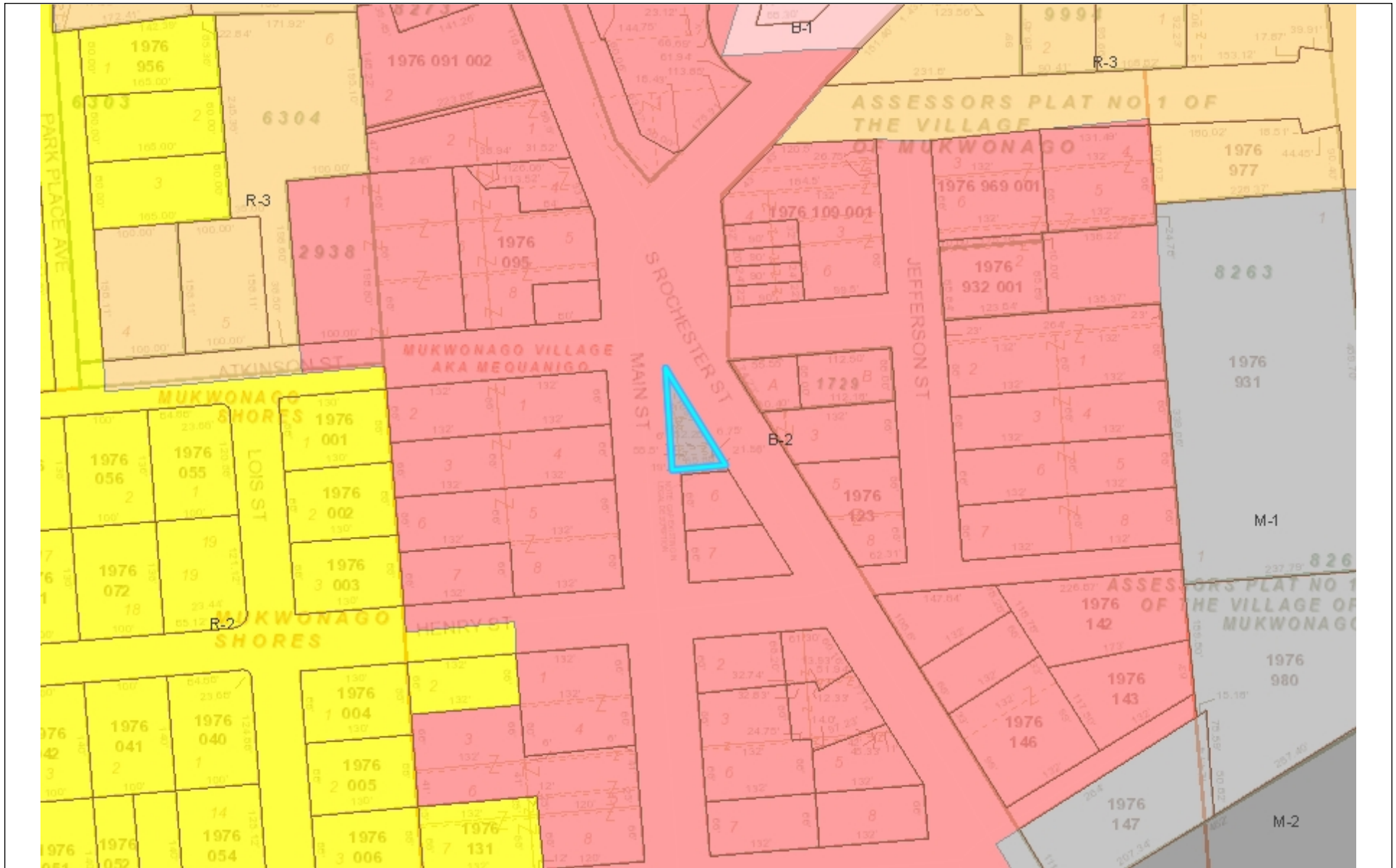
DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 167'

VILLAGE OF MUKWONAGO
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Print Date: 2/24/2021



Village of Mukwonago GIS

201 S Rochester Conditional Use

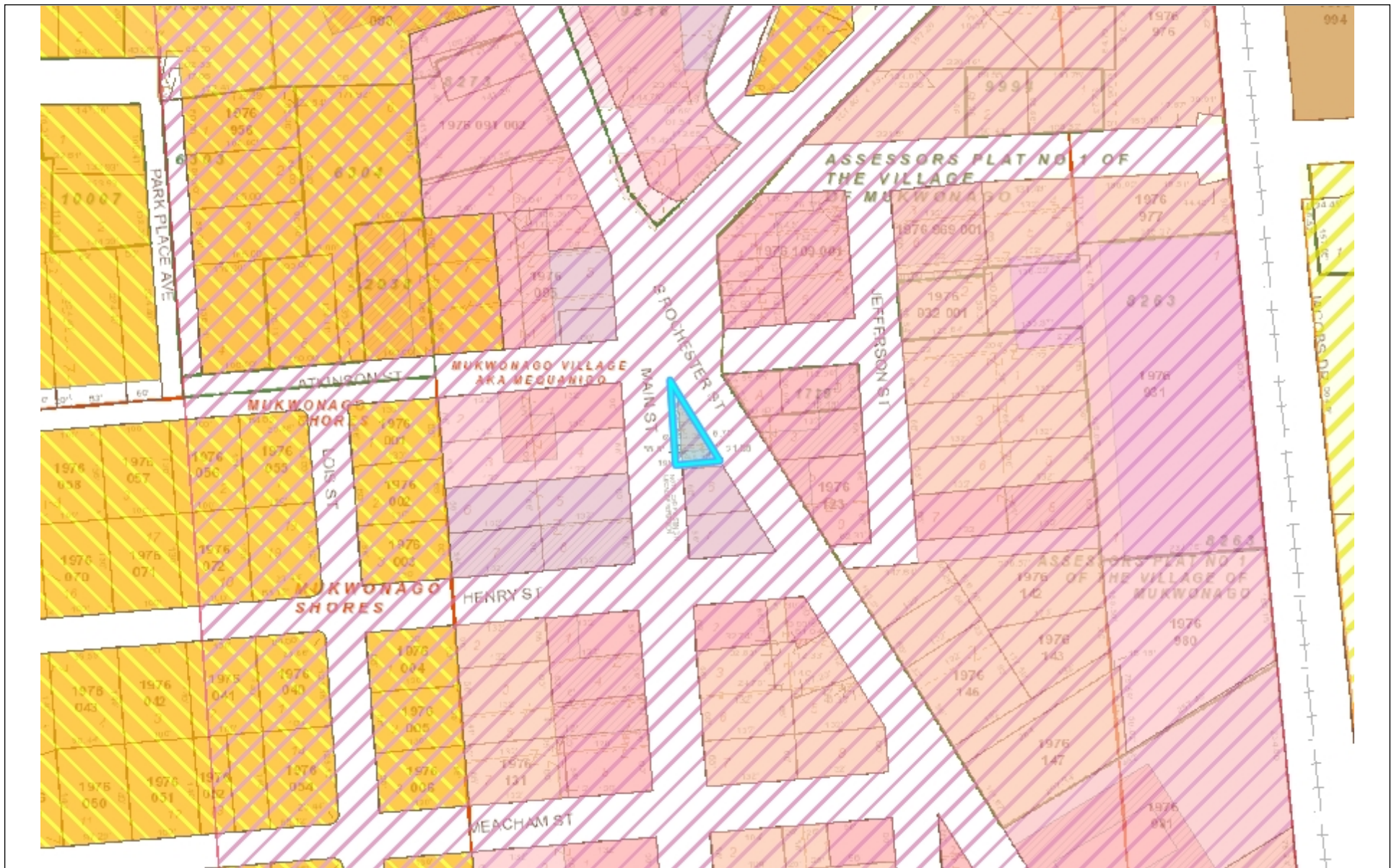
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Village of Mukwonago GIS 201 S Rochester Conditional Use

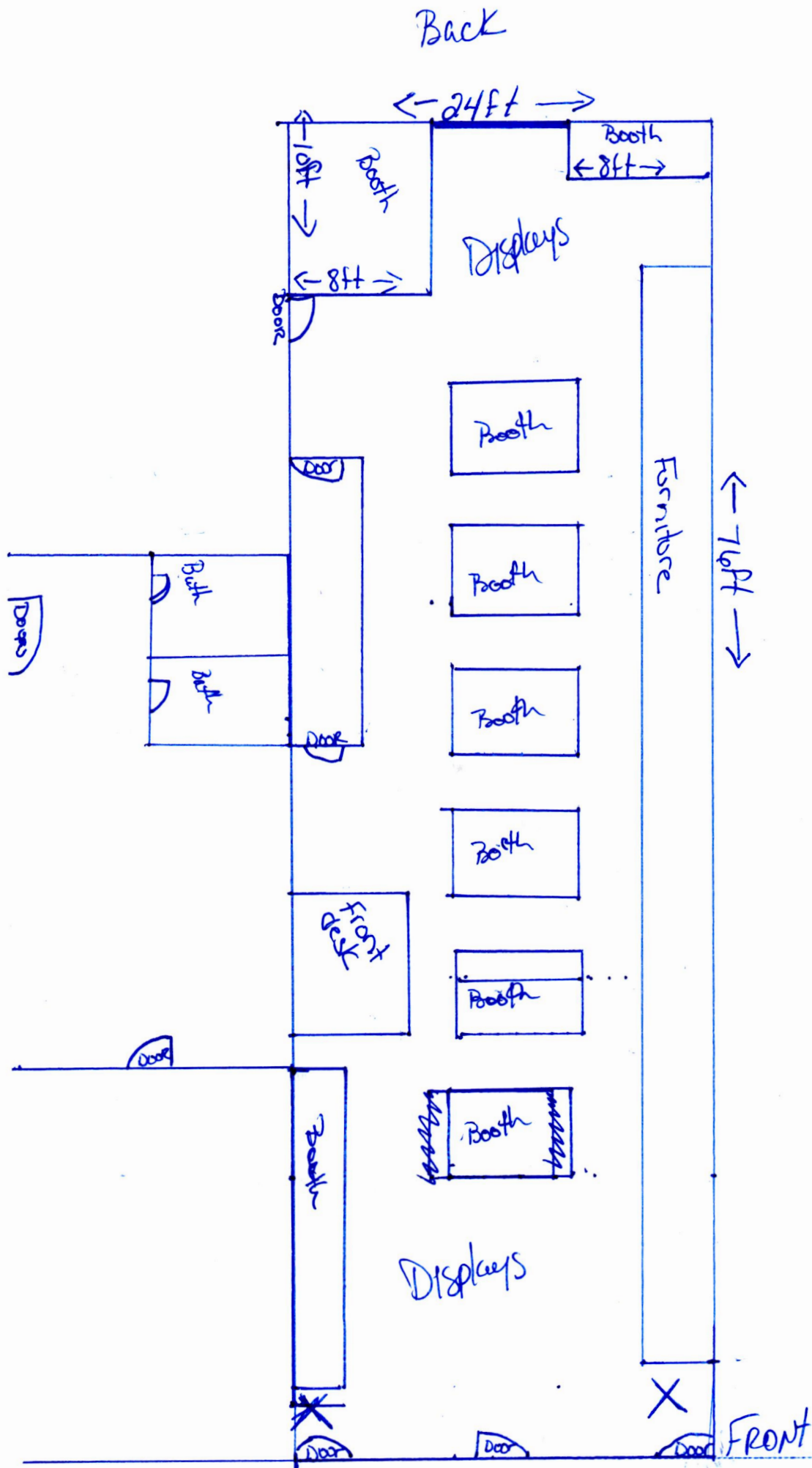
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SCALE: 1" = 200'

VILLAGE OF MUKWONAGO
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Print Date: 2/24/2021



RESOLUTION 2020-11
Village of Mukwonago Order Granting a
Conditional
Use and Prescribing Conditions for a
Secondhand Store for Josh and Tonia Property
Management, LLC (tenant) and RED CORNER
INVESTMENTS LLC (owner) Located at 201 South
Rochester Street

WHEREAS, **RED CORNER INVESTMENTS LLC** (hereinafter “property owner”) owns the property located at 201 South Rochester Street (hereinafter “subject property”) in the Village of Mukwonago, more particularly described as follows:

PT LOTS 2 & 3 BLK 12 ORIGINAL PLAT PT SE1/4 SEC 26
T5N R18E COM 163.00 FT 6.00 IN FROM SW COR BLK
12 N86 E 52.00 FT 3.00 IN N35.5 W 109.00 FT S4 E
96.00 FT TO BGN ALSO COM 138.00 FT 6.00 IN FROM
SW COR BLK 12 N86 E 65.00 FT 10.00 IN N32.5 W 21.00
FT 7.00 IN S86 W 55.00 FT 6.00 IN S4 E 19.00 FT TO
BGN ALSO COM 157.00 FT 6.00 IN FROM SW COR BLK
12 N86 E 55.00 FT 6.00 IN N32.5 W 6.00 FT 9.00 IN S86
W 52.00 FT 3.00 IN S4 E 6.00 FT TO BGN R2674/1110

WHEREAS, and **Josh and Tonia Property Management, LLC** (hereinafter “tenant”) leases tenant space identified as 201 South Rochester Street (hereinafter “subject property”) in the Village of Mukwonago, more particularly described as follows:

WHEREAS, the property owner has, consistent with the Village of Mukwonago’s zoning regulations, submitted a conditional use application for a secondhand store; and

WHEREAS, and **Josh and Tonia Property Management, LLC** (the tenant has, consistent with the Village of Mukwonago’s zoning regulations, submitted a conditional use application for a secondhand store; and

WHEREAS, upon receipt of the petition submitted by the property owner/tenant, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on March 9, 2021 to consider the petitioner’s request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner’s request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 100-354 of Mukwonago’s zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and

Return to:

Diana Dykstra, Clerk-Treasurer
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Parcel Number: MUKV1976-121

improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to operate a secondhand store as set forth herein and as specified in the Village's zoning code.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
 - a. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing within 6 months of the date of this decision. Prior to such expiration, the property owner may request an extension to this time period and the Village Clerk may approve an extension with good cause.
 - b. This order must be recorded against the subject property in the Waukesha County register of deeds office (only if subsections 3(a) have been satisfied).

In the event the requirements enumerated in subsections 3(a) above are not satisfied, this order shall automatically be null and void without any further action by the Village of Mukwonago on the aforementioned date.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
 - a. The authorized use shall not be conducted in such a way so as to violate fire-related building capacity standards established by the local fire department or the state of Wisconsin.
 - b. The authorized use shall not be conducted in such a way so as to constitute a public or private nuisance as determined by the Plan Commission.
 - c. Potable water and sanitation must be provided and maintained.
 - d. Any modification to the site or exterior of the building shall require Site Plan and Architectural Review (SPAR) and approval.

- e. The Plan Commission may unilaterally amend an approved site plan/plan of operation by revising existing provisions or adding new provisions. Such amendment shall be limited in scope to address negative impacts the use is having on surrounding properties and/or the public health, safety, and welfare.
- f. The use of the subject property shall at all times be in compliance with all applicable laws, rules, regulations or orders, and ordinances of the federal government, State of Wisconsin, Waukesha County and Village of Mukwonago.
- g. All buildings on the subject property shall comply with all applicable building requirements as may be adopted by the Village of Mukwonago or the state of Wisconsin.
- h. The subject property must be in a clean and neat appearance as determined by the Plan Commission.
- i. The property owner shall obtain and maintain all licenses for the operation of this facility, as may be required by the Village or the State of Wisconsin.
- j. The Secondhand store shall operate between the hours of 8 am to 9pm
- k. No Drop off collections will occur.

5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new conditional use approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of Mukwonago staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of Mukwonago's zoning regulations.

10. **Private rights.** This approval is given under the Village of Mukwonago's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of Mukwonago's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

Approved this 17th day of March, 2021

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Diana Dykstra, Village Clerk

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this ____ day of _____, 2020, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the 16th day of September, 2020.

NOTARY PUBLIC

My Commission Expires:

Acceptance by Property Owner

I, Heidi Nunnemacher, verify that I am an authorized agent for **RED CORNER INVESTMENTS LLC** accepts the terms stated herein.

Dated this ____ day of _____, 2021

RED CORNER INVESTMENTS LLC (
Heidi Nunnemacher, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this ____ day of _____, 2021, the above-named person, Robert Chandler, to me known to be the person who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:

Acceptance by Tenant

I, Josh Manka, verify that I am an authorized agent for Josh and Tonia Property Management, accepts the terms stated herein.

Dated this _____ day of _____, 2021

Josh and Tonia Property Management, LLC
Josh Manka, agent

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally, came before me this ____ day of _____, 2021, the above-named person, John Manka, to me known to be the person who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:

Drafted by John S. Fellows, AICP, Planner, at the direction of the Mukwonago Village Board.



PLANNING COMMISSION

March 9, 2021 at 6:30pm

Mukwonago, WI

Comprehensive Plan Amendment and Zoning Map Amendment

110 Chapman Farm Blvd
Parcel Number: MUKV1962-996-005

Case Summary

Parcel Data

Proposal:	<u>Comprehensive Plan Amendment:</u> Open Space / Recreational and Primary Environmental Land Use Classifications to Medium Lot Single Family 1 – 15,000 Sq.Ft / Primary Environmental Land Use Classifications <u>Zoning Map Amendment:</u> M-1 Limited Industrial District / Planned Unit Development to R-1 Single Family Community Residential District / Planned Unit Development
Applicant:	Abdulaziz S F Sanqur
Request:	Comprehensive Plan Amendment and Zoning Map Amendment
Staff Recommendation:	Approve with Conditions
Planning Commission Recommendation:	Pending

Parcel Characteristics / Conditions

Acreage:	0.368
Current Use:	Vacant Industrial Property
Proposed Use:	Single Family Home
Reason for Request:	New Construction
Current: Land Use Classification:	Open Space / Recreational and Primary Environmental Land
Proposed: Land Use Classification:	Medium Lot Single Family 1 – 15,000 Sq. Ft. / Recreational and Primary Environmental Land
Current: Zoning Classification:	M-1 Limited Industrial District / Planned Unit Development
Proposed: Zoning Classification:	R-1 Single Family Community Residential District / Planned Unit Development
Census Tract:	2039.02

Public Notice

A public hearing notice was published two times in the Waukesha Freeman, and letters were mailed to surrounding property owners. Public comment as of this date, staff has not received any comments or other communications regarding this proposal.

Site Information

Site Review	The applicant has provided a site plan for this property to show how a single-family home could be constructed on this lot. The site plan is for informational purposes related to the request to modify the comprehensive plan and zoning map amendment.
Utilities	All Utilities will be underground, sewer and water are available.
Stormwater Management	There is a regional system, they will connect to the system.
Wetlands	None
Primary Environmental Corridor	Information is available at the register of deeds with regard to two possible boundaries for the environmental corridor. These lines are shown on the site plan provided by the applicant.
Easements	Multiple easements are on this property. Detailed on CSM.
500 Ft Buffer Sanitary Treatment Plant	The NE portion of the property is within the 500 ft buffer of the plant.

Comprehensive Plan Amendment

The applicant is requesting to modify the land use element of the comprehensive plan from Open Space / Recreational and Primary Environmental Land Use Classifications to Medium Lot Single Family 1 – 15,000 Sq. Ft / Primary Environmental Land Use Classifications. T

Upon review staff supports the request based upon the size of the lot is not suitable for industrial development and more well suited for residential development.

Rezoning Request

The applicant is requesting to modify the zoning map for this parcel from M-1 Limited Industrial District / Planned Unit Development to R-1 Single Family Community Residential District / Planned Unit Development.

Upon review staff supports the request based upon the size of the lot is not suitable for industrial development and more well suited for residential development.

Staff Review

Engineering

Wisconsin DNR surface water Data viewer indicates Mapped wetlands on the adjoining parcel (see image below - orange) and wetland indicator soils. (see image below – purple). The Engineer does not foresee any issues – but strongly encouraged the applicant and property owner to verify the potential for wetlands on the property to avoid any issues with the DNR.



Public Works

No Comment

Utilities

No Comment

Police

No Comment

Fire

No Comment

Building Inspection

No Comment

Planning

The planning Department is aware of multiple studies regarding Parcel 1 and 2 of the referenced CSM. These reports include two soil studies conducted over significant time. To avoid any future issues staff recommends the applicant be aware of the soil conditions of the area. (see Engineer comments).

Recommendation

Staff recommends that the planning commission recommend the Village Board approve a request to amend the comprehensive plan and approve the attached resolution.

Staff recommends that the Planning Commission recommend to the Village Board approval of a zoning map amendment and approve the attached ordinance.

Attachments

1. Maps
2. Plans
3. Resolution 2021-XX for Comprehensive Plan Amendment
4. Ordinance - XX for Zoning Map Amendment



Village of Mukwonago GIS
Small Farm Rd - Rezoning- Land Use Amend

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SCALE: 1" = 167'

VILLAGE OF MUKWONAGO
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Print Date: 2/24/2021



Village of Mukwonago GIS
Small Farm Rd - Rezoning- Land Use Amend

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262-363-6420

Print Date: 2/24/2021

RESOLUTION 2021-12

A RESOLUTION TO AMEND THE COMPREHENSIVE PLAN FOR THE VILLAGE OF MUKWONAGO FOR PROPERTY LOCATED AT LOT 1 CERT SURV 10415 / LOT 26 BLK 5 MEADOW PARK ESTATES ADDITION NO 3, MUKV1971-139-001

WHEREAS, the Village Board is authorized by state law to adopt a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2), Wis. Stats.; and

WHEREAS, the Village Board, upon recommendation of the Village Plan Commission, adopted a comprehensive plan on October 6, 2009; and

WHEREAS, the Village Board is authorized to amend the adopted comprehensive plan from time to time, upon recommendation of the Village Plan Commission; and

WHEREAS, the Village Board adopted a public participation plan that describes the way in which Village residents and other interested parties can participate in the revision of the adopted comprehensive plan; and

WHEREAS, Abdulaziz S F Sanqur has submitted a petition to the Village on behalf of a property owner to amend the future land use map (Map 9) of the adopted comprehensive plan by changing the classification from Open Space / Recreational and Primary Environmental Land Use Classifications to Medium Lot Single Family 1 – 15,000 Sq.Ft / Primary Environmental Land Use Classifications Parcel Number **MUKV1971-139-001**; and

WHEREAS, the petitioner's request constitutes a minor amendment as set forth in the adopted public participation plan; and

WHEREAS, the Village Plan Commission at their meeting on March 9, 2021 has determined that additional opportunities for public participation (aside from the public hearing to be conducted by the Village Board) are not needed for this minor amendment owing to the limited nature of the request; and

WHEREAS, the Village Plan Commission reviewed the petitioner's request at their meeting on March 9, 2021, and found it to be a desirable change; and

NOW, THEREFORE, the Board of Trustees of the Village of Mukwonago, Waukesha and Walworth Counties, **DOES HEARBY ORDAIN AS FOLLOWS:**

SECTION I: The Comprehensive Plan for the Village of Mukwonago entitled "Comprehensive Plan 2035 for the Village of Mukwonago" is hereby amended as follows:

- A. Map 9, "Land Use 2035", shall be amended by adding a " Medium Lot Single Family 1 – 15,000 Sq. Ft / Primary Environmental Land Use Classifications " to Parcel Number MUKV2013995007
- B. Map 9, "Land Use 2035", shall retain the environmental features as shown on Exhibit A. CSM 10415

C. This amendment shall take precedence to any conflict that may arise between other Comprehensive Plan policies and presentation of projected number of dwelling units and population within the Comprehensive Plan calculated based on the prior land use designation of the area subject to this amendment pursuant to Exhibit A.

SECTION II. All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

SECTION III: SEVERABILITY. The several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful or unenforceable, such decisions shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, section or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION IV: EFFECTIVE DATE. This ordinance shall take effect immediately upon passage and posting or publication as provided by law.

Passed and adopted this 21st day of April 2021. VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Diana Dykstra., Village Clerk

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

ORDINANCE NO. XXX

**AN ORDINANCE TO AMEND THE DISTRICT ZONING
MAP OF THE VILLAGE OF MUKWONAGO ON BEHALF
OF ABDULAZIZ S F SANQUR., FOR PROPERTY AT LOT
1 CERT SURV 10415 / LOT 26 BLK 5 MEADOW PARK
ESTATES ADDITION NO 3, MUKV1971-139-001**

THE VILLAGE BOARD of the Village of Mukwonago, Waukesha and Walworth Counties, Wisconsin, do ordain as follows:

SECTION I. Pursuant to the provision of Section 100.856 of the Municipal Code of the Village of Mukwonago, having received the recommendation of the Village Plan Commission , and after a public hearing duly called and held on the 21st day of April, 2021, the following legally described property is amended on the Village of Mukwonago Zoning District Map from M-1 Limited Industrial District / Planned Unit Development to R-1 Single Family Community Residential District / Planned Unit Development:

LOT 1 CERT SURV 10415 VOL 99/78 REC AS DOC# 3497172 LOT 26 BLK 5 MEADOW PARK
ESTATES ADDITION NO 3 PT SW1/4 SEC 25 T5N R18E recorded as Document No. 4215771 in
the Office of the Waukesha County Register of Deeds.

MUKV1971-139-001

SECTION II: The above referenced legal description is graphically provided within attached Exhibit A.

SECTION III. All Ordinances or parts of Ordinances contravening the terms and conditions of this Ordinance are hereby to that extent repealed.

SECTION IV. Severability. If any portion of this Ordinance is invalid or unconstitutional, or the application of this Ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this Ordinance which can be given effect without the invalid or unconstitutional provisions or applications.

SECTION V. Effective Date. This Ordinance shall take effect upon passage and publication as provided by law.

PASSED AND ADOPTED by the Village Board this _____ day of _____, 2021.

APPROVED:

Fred Winchowky, Village President

Countersigned:

Diana Dykstra, Village Clerk/Treasurer

Exhibit A

BADGER
BLUEPRINT
COMPANY, INC.
(262) 542-8200

FORM BBC-101

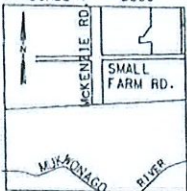
CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF LOT 26, BLOCK 5 OF MEADOW PARK ESTATES ADD'N NO. 3 BEING PART OF LOT 1, C.S.M. #7230 AND PART OF THE NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 25, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

CONC. MON.
W/BRASS CAP
NW CORNER
SEC. 25-5-18

LOCATION MAP

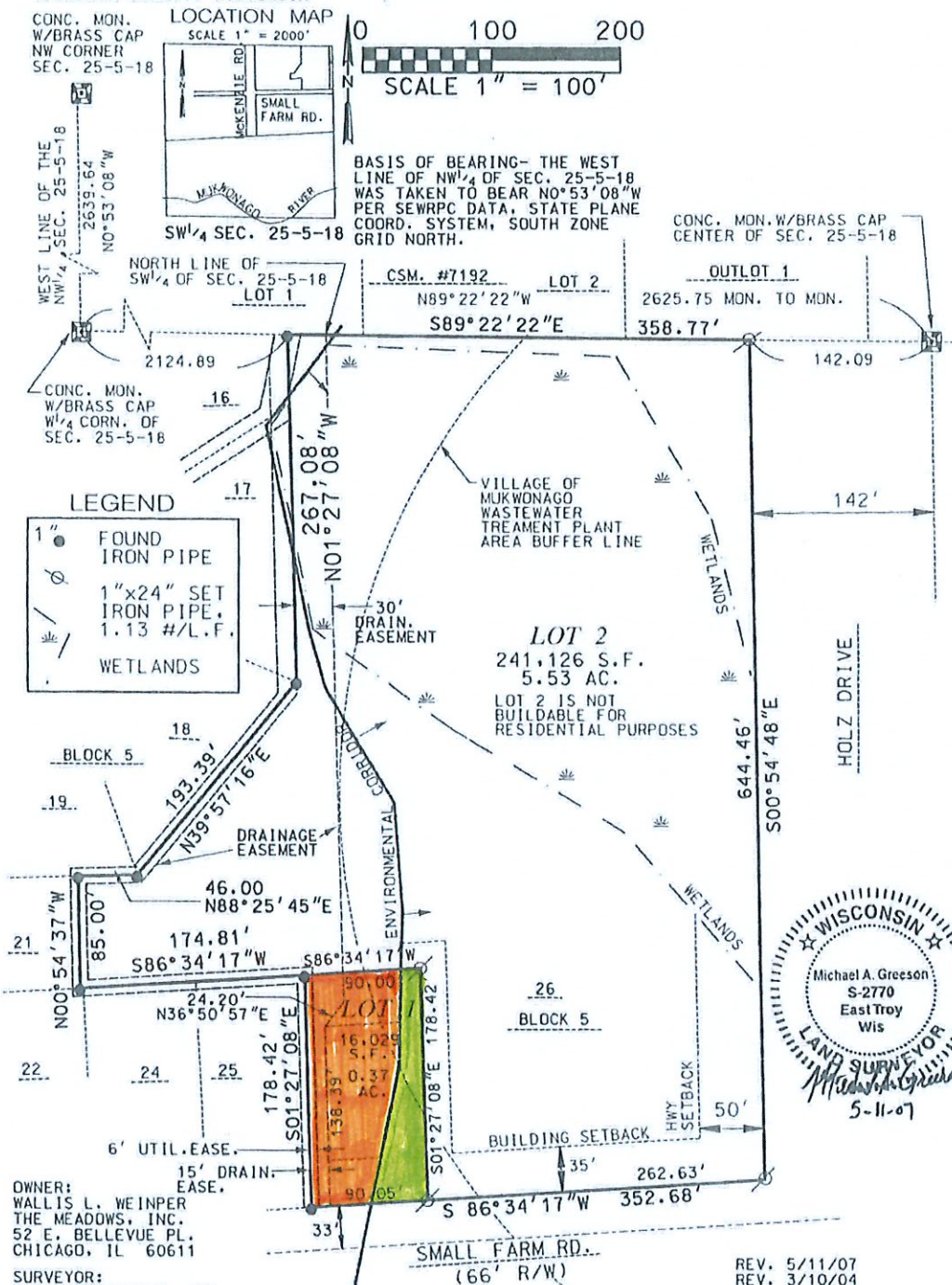
SCALE 1" = 2000'



0 100 200
SCALE 1" = 100'

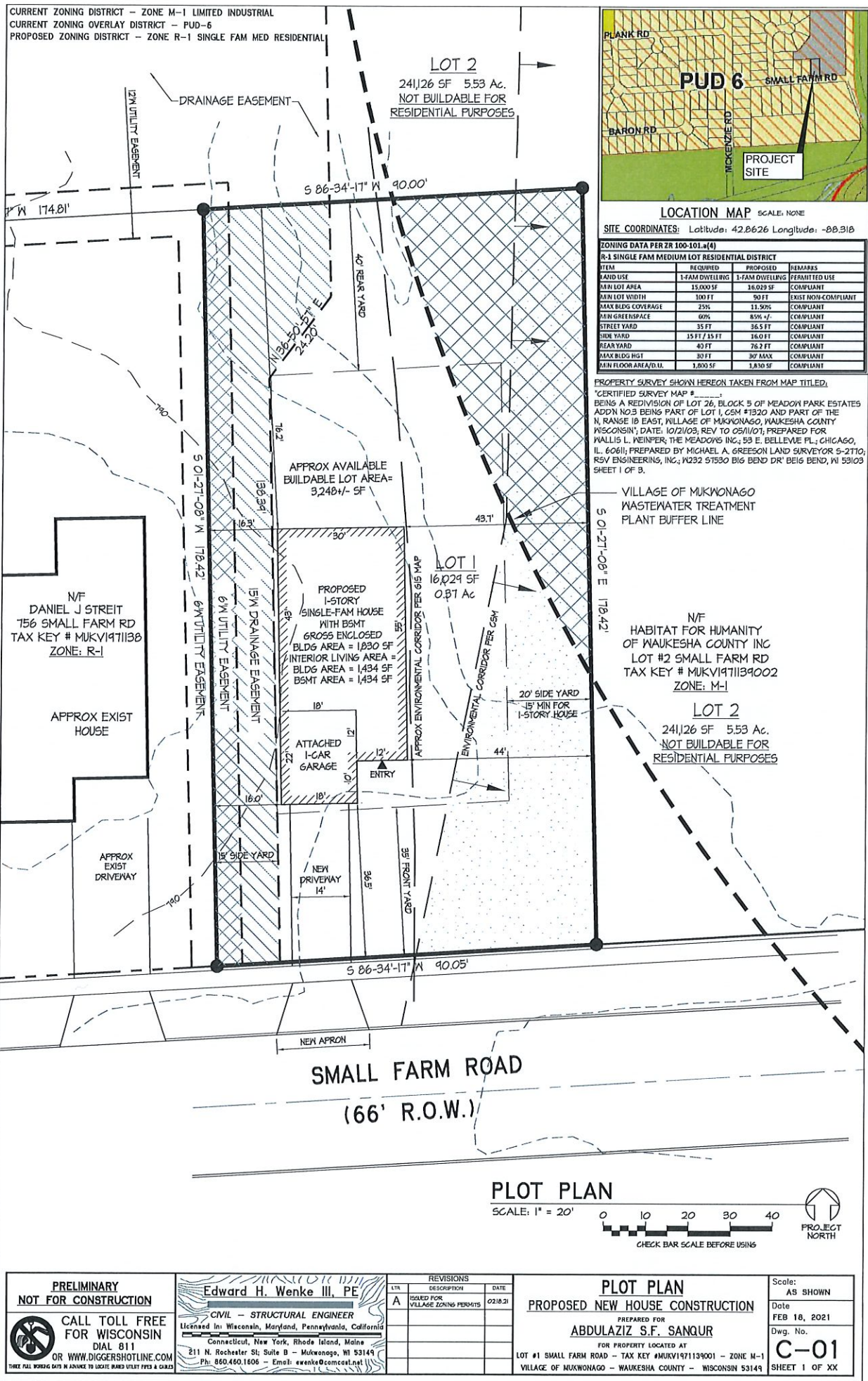
BASIS OF BEARING- THE WEST LINE OF NW $\frac{1}{4}$ OF SEC. 25-5-18 WAS TAKEN TO BEAR NO $^{\circ}$ 53'08"W PER SEWRPC DATA, STATE PLANE COORD. SYSTEM, SOUTH ZONE GRID NORTH.

CONC. MON. W/BRASS CAP
CENTER OF SEC. 25-5-18



REV. 5/11/07
REV. 3/10/04
REV. 3/1/04
REV. 1/22/04
DATE 10/21/03
SHEET 1 OF 3
RSV#97016CSM2

LETTER TO BUYER AND
OWNER STATING NO VARIANCES TO





PLANNING COMMISSION

March 9, 2021 at 6:30pm

Mukwonago, WI

Zoning Code and Sign Code Rewrite Discussion

Summary

Over the course of the next few months Planning Staff and Civitech Consulting will be discussing several items for consideration. Staff will present a variety of options on one or more topics as well as our preferred recommendation, which we believe will be best for the Village now and going into the future. These topics will range from density, parking, built form, and development standards to name a few topics.



PLANNING COMMISSION

March 9, 2021 at 6:30pm

Mukwonago, WI

Zoning Code and Sign Code Rewrite Public Participation Plan

Case Summary

Project Request

Proposal:	Public Participation Plan for the Zoning Code and Sign Code Rewrite
Applicant:	Village of Mukwonago
Request:	Recommendation (Planning Commission) and Adoption (Village Board) of a public participation plan for this project as detailed in the attached document.
Staff Recommendation:	Approve
Planning Commission Recommendation:	Pending

Recommendation

Staff recommends that the planning commission recommend the Village Board approve a resolution adopting a public participation plan for the zoning code and sign code rewrite.

Attachments

1. Draft - Public Participation Plan

Public Participation Plan

Zoning and Sign Code Rewrite Project

Village of Mukwonago

INTRODUCTION

Public participation in government decision making is vital in our system of governance. While it is true that our elected officials were chosen to make decisions on behalf of the people they represent, it is also true that elected officials need to inform, be informed by, and interact with the public on an ongoing basis if their representation is to be meaningful. Regular and continuing involvement in government decision making is the very basis for the idea of citizenship. Public participation is likely to produce better decisions by utilizing the knowledge of the populace and by allocating part of the responsibility for formulating and implementing decisions to the citizens.

The Village of Mukwonago is therefore committed to encouraging and facilitating public participation throughout the preparation, review, and adoption of new zoning and sign regulations. This public participation plan serves as a basic framework for achieving an open dialogue between Village residents, property owners, Village staff, and elected and appointed officials.

OBJECTIVES FOR PUBLIC PARTICIPATION

- The public has opportunities to provide input (both formally and informally) to appropriate decision makers.
- The public has access to technical information created during the process.
- Elected officials will have input from a broad range of perspectives and interests in the community.
- Public input is elicited through a variety of means (electronic, printed, and oral) in such a way that it may be carefully considered and responded to in a timely fashion.
- The process strengthens the sense of community and civic engagement.
- The process furthers the vision of having active and positive participation throughout the process by those most directly affected.

RESPONSIBILITY FOR IMPLEMENTATION

The Village of Mukwonago Village Board, Plan Commission, Village staff, and project consultant will share the responsibility for implementing the public participation activities described in this plan.

RESPONSIBILITY FOR DEVELOPING THE ZONING AND SIGN CODES

The Plan Commission will have the primary responsibility of developing a proposed zoning/sign code and submitting it to the Village Board for further deliberations. The Village Board has the ultimate responsibility to ensure the adopted regulations achieve community-wide objectives.

PLANNED PUBLIC PARTICIPATION ACTIVITIES

- The project consultant will conduct confidential listening sessions with key stakeholders, which may include elected and appointed officials, department staff, and representatives of civic organizations, the local chamber of commerce, business groups, neighborhood groups, and the like.
- The project consultant will conduct one or more workshops for the Plan Commission to identify issues the new zoning/sign codes should address in new or different ways. The purpose of this exercise is to develop consensus on what needs to be addressed in the rewrite and sufficient direction to begin drafting the zoning ordinance.



- The project consultant and Village staff will conduct an open house prior to the public hearing to create an informal setting for residents and others to learn more about the proposed zoning code and to offer their suggestions and comments.
- The project consultant will use the ZoningHub platform to share the proposed zoning regulations and sign regulations in an online interactive way so that people can find out how their property may be zoned and related development standards.
- A public hearing will be conducted to solicit input relating to the proposed zoning code and sign code.
- The project consultant, in consultation with Village staff, may issue news releases when appropriate.
- Residents and others will be able to provide written comments throughout the entire project.
- Various drafts of the zoning/sign codes will be made available as they are submitted for public review.

OPPORTUNITY FOR WRITTEN COMMENTS

- Written comments will be accepted throughout the process and should be sent to John Fellows, Community Planner, at jfellows@villageofmukwonago.com.
- At public meetings or hearings, the presiding officer will clearly announce any deadline for submitting written comments, if such comments are allowed subsequent to the meeting or hearing.

PUBLIC NOTICES FOR MEETINGS AND HEARINGS

Public notices of all meetings and public hearings will be prepared and distributed consistent with applicable notice requirements of the Wisconsin Open Meetings Law, and any other notice requirements imposed by local ordinance or bylaws.

APPROVAL

The Village Board approved this public participation plan at their meeting on March , 2021.

RESOLUTION 2021 - 13

**A RESOLUTION TO ADOPT A PUBLIC PARTICIPATION PLAN FOR
THE ZONING CODE AND SIGN CODE REWRITE PROCESS.**

WHEREAS, the Village Board has authorized staff and provided funds for the rewriting of the zoning code and the sign code of the Village of Mukwonago,

WHEREAS, the Village Board, upon recommendation of the Village Plan Commission, adopted a comprehensive plan on October 6, 2009; and

WHEREAS, the State of WI requires under State Statutes 62.23 allows for communities to adopt and amend zoning codes and sign codes with public participation and a public hearing, and

WHEREAS, the Village Board adopted a public participation plan that describes the way in which Village residents and other interested parties can participate in the revision of the adopted comprehensive plan; and

WHEREAS, the Village Plan Commission at their meeting on March 9, 2021 has recommended the adoption of the public participation plan, and

NOW, THEREFORE, the Board of Trustees of the Village of Mukwonago, Waukesha and Walworth Counties, **DOES HEREBY ORDAIN AS FOLLOWS:**

SECTION I: The adoption of a public participation plan for the zoning code and sign code write as follows:

Public Participation Plan
Zoning and Sign Code Rewrite Project
Village of Mukwonago

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Village of Mukwonago, Walworth and Waukesha Counties, State of Wisconsin

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APPROVAL

The Village Board approved this public participation plan at their meeting on March 17, 2021.

NOW, THEREFORE, BE IT FURTHER RESOLVED the applicant, upon the approval of this site plan and architectural review shall agree to accept the same in writing.

Passed and dated this 17th day of March 2021.

VILLAGE OF MUKWONAGO

By: _____

Fred Winchowky, Village President

Attest: _____

Diana Dykstra, Village Clerk-Treasurer