

Village of Mukwonago
Notice of Meeting and Agenda

PLAN COMMISSION MEETING
Tuesday, June 11, 2024

Time: **6:30 pm**

Place: **Mukwonago Municipal Building, Board Room, 440 River Crest Ct**

1. Call to Order

2. Roll Call

3. Comments from the Public

Please be advised, per Wisconsin Statute Sec. 19.84(2), information and comment will be received from the public by the Plan Commission. The Public Comment Session is granted to the public at the start of each Plan Commission meeting. The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. However, these time limits may be extended at the discretion of the Chief Presiding Officer. The Plan Commission may not respond to or have any discussion on information received during the public comment session unless it is placed upon the Agenda for a subsequent meeting. Public comments should be addressed to the Plan Commission as a body. Presentations shall not deal in personalities personal attacks on members of the Plan Commission, the applicant for any project or Village Employees. Comments shall not be used to engage others in a debate in this forum. All comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Plan Commission or Staff will be deemed out of order by the Presiding Officer.

4. Approval of Minutes

- 4.1 Minutes of the Planning Commission meeting held on May 14, 2024.
[20240514 PC Minutes draft.docx](#)

5. Public Hearings

All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Plan Commission asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.

- 5.1 Public hearing on Conditional Use Permit for a drive-through facility associated with a new restaurant (Dunkin Donuts) located on the north side of Bay View Road, West of Sth 83, at MUKV 2014-987, applicant (Kardo Group, LLC)
[Public Hearing Notice-Conditional Use-Dunkin Donuts](#)

6. New Business

Discussion and Possible Action on the Following Items

- 6.1 Discussion and possible recommendation to approve **Resolution 2024-35**
Conditional Use Permit for a drive-through facility associated with a new restaurant (Dunkin Donuts) located on the north side of Bay View Road, West of Sth 83, at MUKV 2014-987, applicant (Kardo Group, LLC)

[Staff Report-20240605-Dunkin Donuts-SPAR and CU with Attachments](#)
[RESOLUTION 2024-35 Dunkin Donuts CUP](#)

- 6.2 Discussion and possible action on **PC Resolution 2024-07** A Plan Commission Resolution to approve a Site Plan and Architectural Review for Dunkin Donuts Drive Through Parcel MUKV 2014987.

[Staff Report-20240605-Dunkin Donuts-SPAR and CU with Attachments.pdf](#)

[PC RESOLUTION 2024-07 Dunkin Donuts SPAR](#)

7. Adjournment

Membership:

Eric Brill, John Meiners, Karl Kettner, Mark Penzkover, Tim Rutenbeck, Jason Wamser, Fred Winchowky, and Village Planner (Advisory)

It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.

MINUTES OF THE PLAN COMMISSION MEETING

Tuesday, May 14, 2024

Call to Order

President Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

Roll Call

Commissioners present:

Fred Winchowky, Chairman
Jason Wamser
Eric Brill
Tim Rutenbeck
Karl Kettner
John Meiners
Mark Penzkover

Also present:

Peter Gesch, Ruekert-Mielke, Village Planner
Shay Zervas, Deputy Clerk/Treasurer

Comments from the Public

Steven Burican, 1376 Sandhill Ct, Multiple questions regarding Azura and the facility and property layout.

Dan Siever, W297S9075 N Rochester St, Attorney with Meissner Tierney Fisher and Nicholas, S.C., representing Darwin Greenwald. Did not want the board to pass Resolutions before them today regarding Azura. Discussed possible issues with loss of access from 83 to properties located on the corner of 83 and Chapman Farm Blvd when those properties are developed. Suggested a shared easement access from Chapman Farms Blvd through Azura property on Northeast section of their plan to corner lots. He felt the corner lots landlocked if they do not get access via Chapman Farm Blvd. He felt Greenwald would develop corner lots, but not currently as the home has occupancy.

Darwin Greenwald, 1243 Fox River Ct, submitted email with concerns regarding lots 991, 992 & 997

Approval of Minutes

Meiners/Rutenbeck motion to approve minutes from April 9, 2024 regular meeting.
Unanimously carried.

Public Hearings

Public hearing on Conditional use for Senior Living Facility (Azura Senior Living) located on the south side of Chapman Farm Boulevard, West of STH 83, at MUKV 1962-996-009, applicant (Azura Memory Care).

No Comments

Closed 6:40 pm

New Business

Discussion and possible recommendation to the Village Board to approve Conditional Use and Prescribing Conditions for a new Senior Care Facility on Parcel MUKV1962-996-009, from Azura Living, LLC (applicant)

Planner Gesch gave an overview of Azura project and status. Stated that this site is something that would address the 2035 comprehensive plan for increased senior living. He clarified that the barn meets height requirements. He stated Azura has a photometrics plan within their comprehensive plan addressing lighting leaving at property lines, it meets zoning code requirements. Confirmed access points to adjacent properties but will need to be confirmed with DOT. Confirmed no issues regarding water or utilities and all water and sewer coming from in from Chapman Farm Blvd. All fire hydrants and safety have been addressed with fire department revising and will have minor adjustments and will not change over all site plans.

Mathew Lyons, 1233 N Mayfair Rd, Milwaukee, Azura Living LLC, gave an overview of the company, awards, standards, patient care and building project inside and outside and layout of grounds (property). He noted Azura meets zoning property B-3. He noted that Attorney/Greenwald have not contacted Azura to discuss or negotiate. He noted they would be extremely opposed to allow them access to unknown future commercial development through property for safety reasons of patients/residents of facility.

Meiners/Penzkover motioned to recommend to Village Board to approve **Resolution 2024-30** Conditional Use and Prescribing Conditions for a new Senior Care Facility on Parcel MUKV 1962-996-009, from Azura Living, LLC (applicant). Unanimously carried.

Discussion and possible action to approve PC Resolution 2024-06 a resolution for a site plan and architectural review for Azura Senior Living, LLC Parcel MUKV 1962- 996-009

Penzkover commented that the village in the past has worked with landowners/project developments through issues and conflicts with success of overcoming difficulties.

Meiners/Brill motion to approve **PC Resolution 2024-06** a resolution for a site plan and architectural review for Azura Senior Living, LLC Parcel MUKV 1962- 996-009. Unanimously carried.

Discussion and possible approval of PC-RESOLUTION 2024-05 for a Site Plan and Architectural Review request to build an addition on the parcel located at 823 Swan Drive (MUKV 1970-999-026) for Performance Water Products, Inc. (Owner), by J.G. Samuels, Inc., applicant (James Samuels, agent).

Planner Gesch gave an overview of the project. It is a 9,600 sq ft addition on site zoned M-4, for increased storage and production line. The Fire Chief is still working with them on a few items. Parking lot to have 19 spots. Applicant is applying for reduction in parking spots that are required per the Ordinance. Planner recommends approval of PC-Resolution 2024-05 for Site Plan and Architectural Review, including reduction of parking.

Wamser commented on parking concerns with reduction of parking lot space. Seems there is already an issue of parking on the street. He questioned how they can guarantee that this will not become worse.

Brill commented on parking reduction being a conditional thing and if an issue of parking on street, that village could revoke exception and parking spaces would need to be made.

Meiners/Rutenbeck motion to approve **PC Resolution 2024-05** a resolution for a site plan and architectural review request to build an addition on the parcel located at 823 Swan Drive (MUKV-1970-999-026). Unanimously carried.

**Concept Review of L'Bri located 909 Perkins Drive for future site expansion to include both 909 Perkins Dr and adjacent parcel: MUKV 1969-996-005 and MUKV 1969-996-006
(Tabled on March 12, 2024)**

Planner Gesch gave an overview of plans L'Bri is only applying for a concept review.

Wamser asked why they are not doing addition to current building?
Meiners commented on accepting explanation for proposed parking.
Brill asked if the 2 properties need a CSM?

Jake Netter, Jack Architect, commented on potential buildings design (architecture), property layout and parking. Potential for cross docking if needed. Adding addition, would remove docking area, which is costly.

Jack Handel, General Contractor, noted they are requesting to have less parking spots then required by ordinances. He noted a variance will be needed for decreasing parking.

Brian Kaminski, Owner of L'Bri, commented on the use of the new building for storage/warehouse with a small office. He mentioned that he does not anticipate increasing staffing at this time. He further clarified that staffing is split into 2 shifts First and Second shift and most are part time. Not all staff are on property at the same time regarding not needing more parking, and he didn't want to construct an addition to an older building and also there are 2 separate lots that could potentially be sold.

Adjournment

Meeting adjourned at 7:43 p.m.

Respectfully Submitted,
Shay Zerfas
Deputy Clerk/Treasurer

NOTICE OF PUBLIC HEARING
VILLAGE OF MUKWONAGO PLAN COMMISSION

The Village of Mukwonago Plan Commission will conduct a public hearing on Tuesday, June 11, 2024, for the following:

Conditional Use Permit for a drive-through facility associated with a new restaurant (Dunkin Donuts) located on the north side of Bay View Road, West of STH 83, at MUKV2014987, applicant (Kardo Group, LLC)

The meeting will be held in the Board Room of the Village Hall located at 440 River Crest Court, Mukwonago, Waukesha and Walworth Counties. The meeting starts at 6:30PM and the public hearing will be conducted in the order listed on the meeting agenda.

For information regarding this public hearing, contact the Village Planner at planner@villageofmukwonago.gov or 262-363-6420 during regular office hours. All interested parties will be heard.

Notice was sent to property owners within 250 feet of the property and surrounding municipality Clerks within 1000 feet of the Village of Mukwonago boundary.

Upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, please contact Diana Dykstra, at 262-363-6420.

VILLAGE OF MUKWONAGO
Diana Dykstra, Clerk-Treasurer

Legal notice to be published in the *Waukesha Freeman* on May 29 and June 5, 2024.

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission

FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.

REPORT DATE: June 5, 2024

MEETING DATE: June 11, 2024, 6:30 P.M.

SUBJECT: Dunkin Donuts – Site Plan & Architectural Review and Conditional Use

BASIC INFORMATION	
Project:	Dunkin Donuts
Applicant:	Kardo Rasha – Kardo Group, LLC
Consulting Engineer:	Mach IV Engineering & Surveying LLC
Consulting Architect:	KP+J Architects & Engineers
Request:	Site Plan & Architectural Review & Conditional Use
Staff Recommendation:	Approve with Conditions

PARCEL DATA/CHARACTERISTICS	
Tax Key:	MUKV2014987
Acreage:	0.65 Acres
Current Use:	Vacant
Proposed Use:	Restaurant w/ Drive-Thru
Reason for Request:	Development of new Dunkin Donuts Facility
Land Use Classification:	Business
Zoning Classification:	B-2 – General Business

Project Summary & Overview

A Dunkin Donuts facility is proposed to be constructed directly north of the intersection of Bay View Road and Greenwald Court on parcel MUKV2014987. The facility will have one entrance and exit located directly across from Greenwald Court. The development will feature a new building with a drive-thru facility and on-site parking for guests. A fast food/carry-out restaurant and sit-down restaurant are both permitted uses in the B-2 District, however a drive-thru facility requires a Conditional Use Permit.

Additional information is provided in the attached documents submitted by the applicant and staff review comments are included at the end of this report.

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Original site plan documents were submitted showing two entrances and exits onto Bay View Road – one where it is shown now and one at the end of the median closer to STH 83. Staff advised the applicant that the entrance/exit closest to STH 83 would not be allowed due to possible queuing and safety concerns with the STH 83 intersection. It was recommended that the applicant contact the Brooklife Church, Inc. to discuss use of the existing driveway on the west side of the parcel that services Brooklife Church and adjacent development and eliminate the entrance/exit onto Bayview Road, however, staff is not aware of any discussions that were had between Brooklife and the Applicant.

Staff spoke with WisDOT and WisDOT indicated that they purchased access rights to the property up to the intersection with Greenwald Court, therefore, their current proposed entrance/exit would not conflict with any WisDOT access rights.

Conditional Use Request

Attached to this staff report is the justification questions for a Conditional Use Permit that have been answered by the applicant. The Planning Commission shall take these into consideration when making their decisions.

Conditional Use Process / Findings

The established review procedures are that the Plan Commission shall hold a public hearing and make a recommendation to the Village Board whom makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's Zoning Regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment, maintenance or operation of the conditional use is compatible with surrounding properties, whether in the same or different zoning districts. In making this determination, the Plan Commission and Village Board must determine whether the petitioner has demonstrated there are no adverse effects on surrounding properties or that potentially adverse effects have been eliminated or reduced to an acceptable level. Approaches that could be employed to mitigate potentially adverse effects will depend on the particular circumstances but may include:
 - a. Adjusting the location of the use, or parts thereof, on the subject property;
 - b. Limiting hours of operation;
 - c. Limiting the size or scope of the use, or parts thereof;
 - d. Controlling how the use is managed on an ongoing basis;
 - e. Providing additional landscaping;
 - f. Providing additional screening; and
 - g. Limiting operations conducted out-of-doors, if otherwise allowed

~Mukwonago, Village of > 12-10221 > Staff Report-20240605-Dunkin Donuts-SPAR and CU~

4. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
5. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
6. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval to Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

Staff Review

Engineering:	Storm water management not required. No erosion control plan provided and will need to be provided and approved before construction. Sidewalk closed signage needs to be provided when tying into storm inlet on Bay View Road.
Public Works	Right-of-way permits will be required for new drive entrance and connection to storm sewer.
Utilities	Drawings show cutting in new sanitary and water laterals for the site. Size of water and sewer not shown on plans. After some research, there is an existing 6" sewer lateral stubbed to the site that will need to be abandoned if not used. Additionally, there is an existing 1.5" water service stubbed to the site that will need to be abandoned if not used.
Police	No comments at this time.
Fire:	No comments at this time.

Building Inspection

Lighting Plan does not include photometrics. Staff will need to review and approve prior to issuance of a building permit.

Planning

Architectural plans state 30 required parking spots and engineering plans state 6 required spots. Both sets of drawings are incorrect in this manner. Required parking is 1 space per 3 seats (1 seat = 10SF dining area) and this equates to 6 required spots with 180 SF of dining area. Plus 1 spot per employee is required. Plan of operation states 3 employees per shift and 8 employees total. Drive-thru facility requires stacking of 6 vehicles plus 2 spaces if delivery vehicles are used. Plan of operation does not indicate delivery service. Required on-site parking is 9 spaces per ordinance, however plan commission has opportunity to require more. 21 spaces are being provided. Drive-thru stacking requirement is being met.

Minor concerns with delivery vehicles blocking on-site traffic flow.

Setbacks, greenspace, max lot coverage, and other district requirements are all being met.

Recommended Action**Conditional Use Permit**

Staff recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in the provided resolution.

To – Grant a Conditional Use Permit for a drive-thru facility with the following on-going conditions deemed necessary to protect the health, safety, and welfare:

1. Ongoing conditions of approval. The following conditions shall constitute an ongoing obligation:
 - a. Any modifications to the site, buildings, site improvements, shall require the conditional use application being updated.
2. The following conditions are also true and are consistent with Section 100-354 of Mukwonago's zoning regulations:
 - a. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
 - b. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
 - c. The establishment, maintenance or operation of the conditional use is compatible with surrounding properties, whether in the same or different zoning districts.
 - d. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
 - e. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
 - f. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

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Site Plan and Architectural Review

Staff Recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

Attachments

1. Application and Development Information
2. Plans and Site Drawings



VILLAGE OF MUKWONAGO

CONDITIONAL USE PERMIT REQUIREMENTS

- ☐ Application Completeness: See page 2 for complete list of submittals.
- ☐ Pre-Application Meetings: Available upon request.
- ☐ Application Submission:
 - ☐ **Applications must be submitted electronically** through the Village on-line permit system. The system may be accessed through this [link](#).
 - ☐ If you are a new user, you will need to start by creating a “Contractor” account. A “Contractor” is a non-owner (Business Owner, Design Professional, etc). If you are the property AND business owner, you may apply as a “Homeowner”.
 - ☐ Once you arrive to the site you will need to apply for a “Planning, Zoning, or Engineering Process”. This link can be found on the left side of the screen under Planning and Zoning page of the Village website. The program will allow you search by the address, apply for appropriate application, input various information, and upload documents.
 - ☐ Fees: Fees may be paid in one of three ways.
 1. You may pay your fee online. After the application is submitted staff has received and reviewed the application an email will be sent to the applicant (email that is provided) letting you know that you can pay the fee online. There is an additional fee associated with this option.
 2. You may pay with cash or a check by mailing or bring the check to Village Hall. There is not a transaction fee associated with this option.
 3. You may pay with a credit card at Village Hall during normal hours and in person. There is a transaction fee association with this option.
 - ☐ Meeting Dates: Plan Commission meets on the second Tuesday of each month at 6:30 p.m. A schedule of meeting dates can be found at our [web site](#). The Village Board meets on the 3rd Wednesday of the month at 6:30p.m.
 - ☐ Application Deadlines: Applications deadlines are approximately 5 weeks prior to the scheduled meeting. A schedule of deadlines may be found on our [web site](#).

PROCEDURAL CHECKLIST FOR CONDITIONAL USE REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a conditional use.

Application Submittal Requirements for Village and Applicant Use (Check off List)

Application:

- ☒ Online Application Completed
- ☒ Application fee: [current fee schedule](#)
- ☒ Agreement for Reimbursable Services Acknowledgement

Required site drawings:

- ☒ Survey of the property
- ☒ Landscape plan
- ☒ Parking plan (including parking computations)
- ☒ Lighting plan (including photo metrics and cut sheets)
- ☒ Proposed location and connection to the sanitary sewer and water mains
- ☐ Preliminary Stormwater Management plan (if applicable)
- ☒ All building elevations (color renderings)
- ☐ Building Material Cut Sheets
- ☒ Floor plans
- ☒ Signage proposed (additional permit and approvals required under Ch. 64)

Other Documents:

- ☒ Plan of operation/proposal
- ☒ Justification of CU Request – see below
- ☒ Electronic Submittals are required. All documents need to be uploaded into the BS&A Software.
- ☐ Any additional information as determined by Village Staff.
- ☐ Any Licenses from the Village Clerk.

JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

The Plan Commission and Village Board of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. **Applicant: Please fill out ALL of the questions. Use additional sheets of paper if needed.**

- A. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The proposed use will be for a commercial restaurant with seating and drive through capacity. The proposed development will adhere to the required Village zoning dimensional and performance standards.

- B. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The proposed use will be for a commercial restaurant with seating and drive through capacity. The proposed development will adhere to the required Village zoning dimensional and performance standards.

- C. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 100-354 (a), (b), and (c)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development?

No, the proposed development will not created any adverse impacts.

- D. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed use will be for a commercial restaurant with seating and drive through capacity. The property is zoned B-2 for "General Business" which permits restaurants.

- E. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes, there are public utilities available to serve the property.

F. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Sections 100-354 (e)(1) and (2)), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, there proposed development will be accessible to both pedestrian and vehicular traffic to provide food and beverage (restaurant) service to the public. The proposed development is a suitable fit for the small parcel.

Village of Mukwonago
440 River Crest Ct
Mukwonago, WI 53149
Phone: (262) 363-6420
Fax: (262) 363-6425
www.villageofmukwonago.com

VILLAGE OF MUKWONAGO

SITE PLAN, ARCHITECTURAL, AND PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Application Fee: Below

Date Submitted: _____

FEES

(Please check one)

- ☐ Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- ☐ Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.
- ☐ Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- ☐ Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit
- ☐ Resubmittal of or Amendment to Site Plan and/or Architectural Review: \$200.00

CONTACTS

Zoning and Planning Department

Contact:

Phone: (262) 363-6420 ex 2111

Fax: (262) 363-6425

Email: planner@villageofmukwonago.com

GUIDELINES

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner
ATTN: Site Plan/Architectural Plan/Planned Unit Development
440 River Crest Ct
Mukwonago, WI 53149
Deliver to: Village Clerk's Office
440 River Crest Ct
Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

APPLICANT (Full Legal Name)

Name: Kardo Rasha

Company: Kardo Group LLC

Address: 3209 York Road City: Oak Brook State: IL Zip: 60523

Daytime Phone: (847) 668-6842 Fax: _____

E-Mail: kardo.rasha@gmail.com

APPLICANT IS REPRESENTED BY (Full Legal Name)

Name: Christian Cebrero
Company: KP+J Architects & Engineers
Address: 960 Rand Road City: Des Plaines State: IL Zip: 60016
Daytime Phone: (224) 499-0982 Fax: _____
E-Mail: jolly@kpenr.com

ARCHITECT

Name: Jolly Thulaseedas
Company: KP+J Architects & Engineers
Address: 960 Rand Road City: Des Plaines State: IL Zip: 60016
Daytime Phone: (224) 499-0982 Fax: _____
E-Mail: jolly@kpenr.com

PROFESSIONAL ENGINEER

Name: Brad McDermid, P.E.
Company: Mach IV Engineering & Surveying LLC
Address: 2260 Salscheider Ct City: Green Bay State: WI Zip: 54313
Daytime Phone: (708) 308-2183 Fax: _____
E-Mail: bmcdermid@mach-iv.com

REGISTERED SURVEYOR

Name: Andrew Cleveland, PLS
Company: Mach IV Engineering & Surveying LLC
Address: 2260 Salscheider Ct City: Green Bay State: WI Zip: 54313
Daytime Phone: (920) 712-2328 Fax: _____
E-Mail: acleveland@mach-iv.com

CONTRACTOR

Name: Nilax Patel
Company: Resa Construction
Address: 711 N. Elmhurst Rd City: Prospect Heights State: IL Zip: 60070
Daytime Phone: (847) 850-5510 Fax: _____
E-Mail: nilax@resaconstruction.com

PROPERTY INFORMATION

Property Owner (s) (if different from applicant): Darwin N and Donna E Greenwald Living Trust
Address: 1243 Fox River Ct City: Mukwonago State: WI Zip: 53149
Daytime Phone: (262) 363-4095 Fax: _____
E-Mail: DARWIN@GREENWALD.BIZ
Present Zoning: _____ Tax Key No(s): MUKV2014987
Location/Address: Bayview Road
Present Use: Vacant Intended Use: Drive-Thru Restaurant (coffee shop)

PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

Submittals for review must include and be accompanied by the following:

Application:

- ☐ Completed application form including the procedural checklist.
- ☐ Application fee: See page 1.
- ☐ Agreement for Reimbursable Services (separate application).

Other Documents:

- ☐ Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.
 - ☐ Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
 - ☐ **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to planner@villageofmukwonago.com.
 - ☐ Any additional information as determined by Village staff.
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
 - All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.

CERTIFICATION

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this application is being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met.

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).



Signature - Property Owner

(Darwin N and Donna E Greenwald Living Trust)

Name & Title (PRINT)

5/17/2024

Date

Signature - Property Owner

Name & Title (PRINT)

Date



Signature - Applicant

Kardo Rasha

Name & Title (PRINT)

5/21/24

Date

Christian Cebrero

Digitally signed by Christian Cebrero
Date: 2024.05.21 11:48:33-0500

Signature - Applicant's Representative

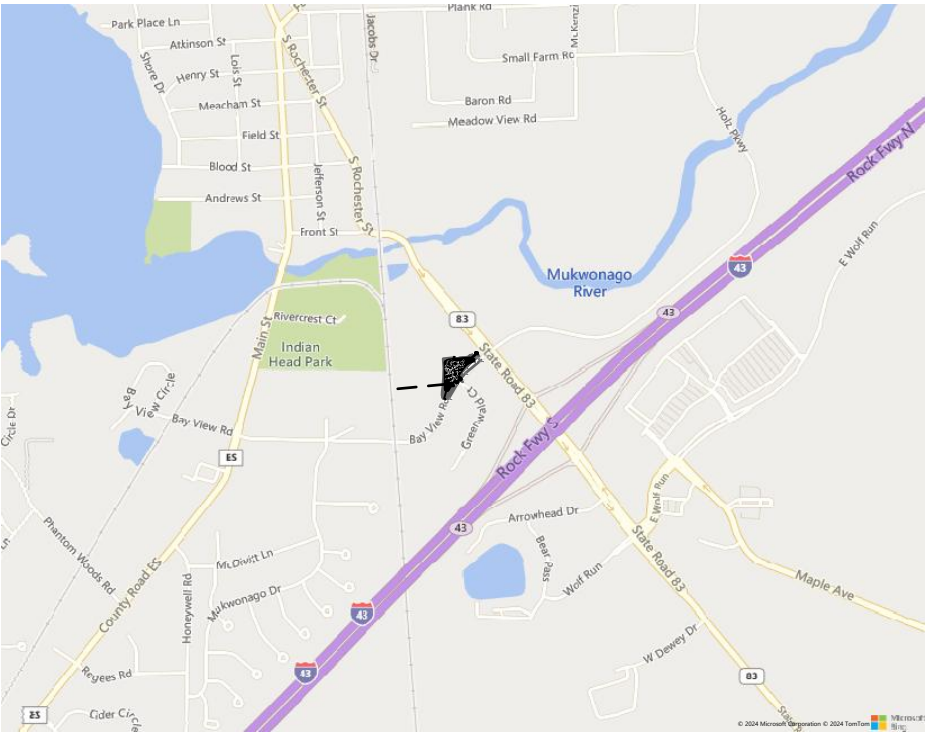
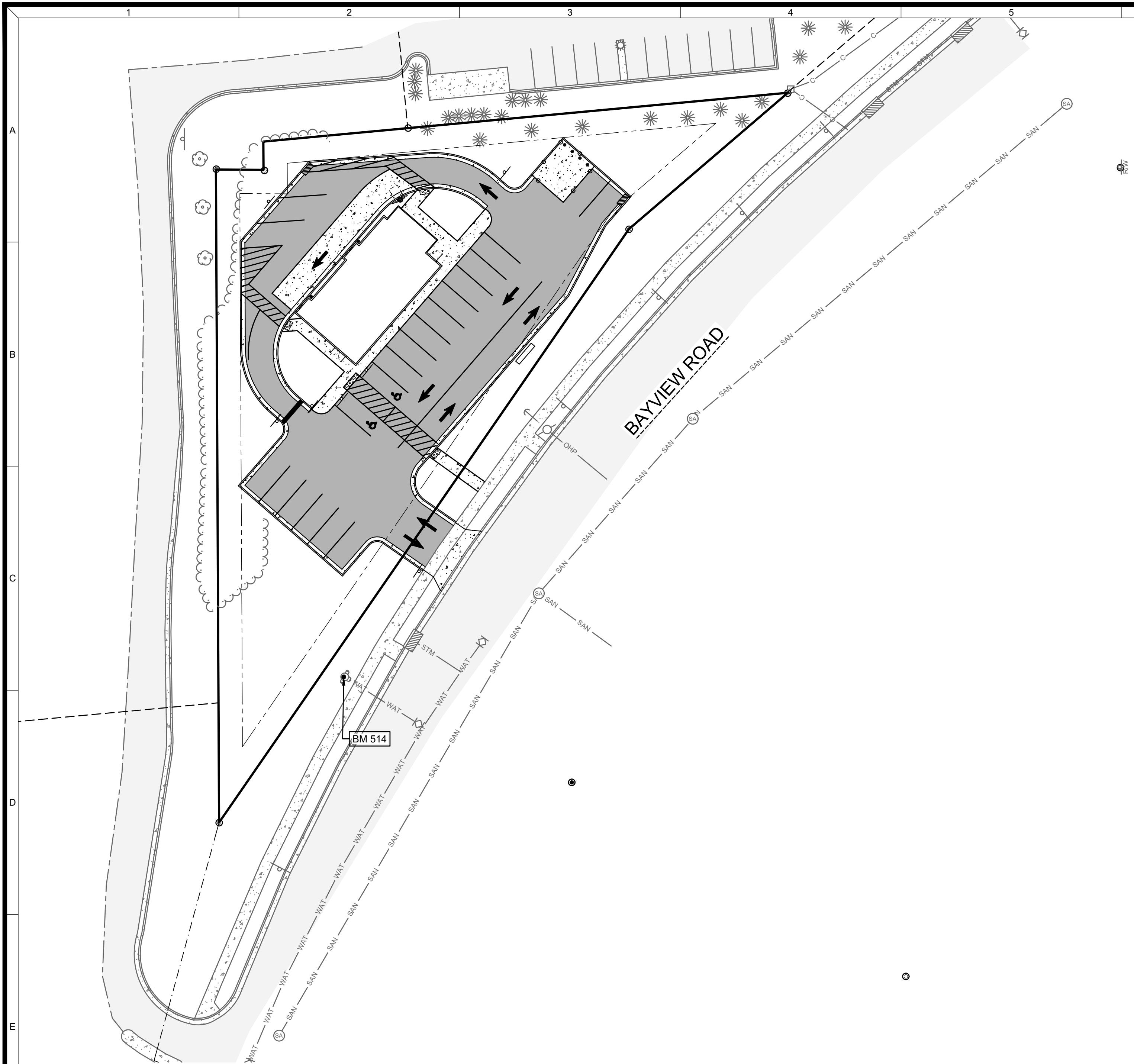
Christian Cebrero

Name & Title (PRINT)

Date

FOR OFFICE USE ONLY	
Date Paid	Receipt #
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? ☐ Yes ☐ No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	

R:\Jobs\2195-01-24 Mukwonago Dunkin Donuts\DRAWINGS\2195-01-24 Eng.dwg 5/14/2024 3:44:14 PM



LOCATION MAP

TBD
MUKWONAGO, WI 53149

NOT TO SCALE

Benchmarks		
Label	Elevation	Description
BM 513	814.92	HYDRANT ARROW HEAD
BM 514	816.92	HYDRANT ARROW HEAD

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 SITE & UTILITY DETAILS
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

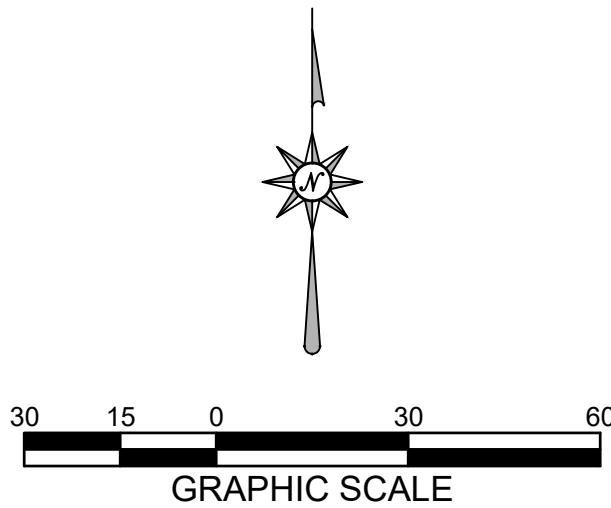
- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC APRIL10 2024.
- SURVEY VERTICAL DATUM IS NAVD88.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
- FOR NOTES SHOWN THUS, "Ⓢ", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



CIVIL LEGEND

EXISTING		PROPOSED	
CABLE PEDESTAL		EVERGREEN SHRUB	
ELECTRIC METER		EVERGREEN TREE	
ELECTRIC PEDESTAL		TREE	
GUY WIRE		TREE SHRUB	
LIGHT POLE		BUILDING OVERHANG	
POWER POLE		UNDERGROUND CABLE	
GAS METER		OVERHEAD WIRE	
GAS VALVE		UNDERGROUND ELECTRIC	
BOLLARD		GAS	
HANDICAP PARKING		LANDSCAPE	
SANITARY CLEANOUT		FENCE	
SANITARY MANHOLE		GUARDRAIL	
CATCH BASIN		CENTERLINE	
CULVERT		CURB	
DOWNSPOUT		PARKING STRIPE	
INLET		SANITARY SEWER	
INLET 2' X 2'		CULVERT	
STORM CLEANOUT		STORM SEWER	
STORM MANHOLE		FIBER OPTIC	
FIBER OPTIC PEDESTAL		WOOD LINE	
SIGN		RETAINING WALL	
FIRE HYDRANT		WATERMAIN	
WATER SHUT OFF		CONTOUR MAJOR	
WATER VALVE		CONTOUR MINOR	

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
EL	ELECTRIC (BURIED)	SA	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SAN	SANITARY
FFE	FIRST FLOOR ELEVATION	SCHD	SCHEDULE
FL	FLOW LINE	S.D.	SUMP DEPTH
FO	FIBER OPTIC	SQ	SQUARE
FT	FEET	ST	STORM
G	GAS	S.T.H.	STATE TRUNK HIGHWAY
G.F.E.	GROUND FLOOR ELEVATION	STM	STORM
GR	GRADE	T	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	T/C	TOP OF CURB
INL	INLET	U.S.H.	UNITED STATES HIGHWAY
INV	INVERT	V	VARIES
M	METER	W	WEST
MAX	MAXIMUM	WAT	WATER
MH	MANHOLE	WI	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

KP + J ARCHITECTS

DUNKIN DONUTS

COVER SHEET

REVISION DESCRIPTION

NO.

DATE: MAY 14, 2024

DRAFTED BY: RPH

CHECKED BY:

PROJECT NO.: 2195-01-24

DRAWING

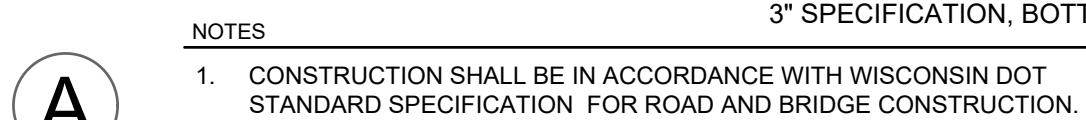
NUMBER

SHEET NUMBER

C0.1

OF 1





NOTES

1. CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.

2. CONCRETE SHALL RECEIVE A BROOMED FINISH.

NOTES:

1. THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE.
2. LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.
3. CURB SHALL BE PLACED ON A MINIMUM OF 6" OF COMPACTED DENSE GRADED BASE.

TOOLED JOINT W/1/4" RAD.
EXPANSION PAPER REQUIRED
AT 10' SPACING MAX.

4", 4,000 PSI
CONCRETE

4" OF 3/4" DENSE
GRADES BASE

STANDARD SIDEWALK

NOTES:

1. CONCRETE SHALL RECEIVE A BROOMED FINISH.
2. JOINT SPACING SHALL BE 5' OR WIDTH OF SIDEWALK, WHICHEVER IS GREATER. (10' MAX).
3. SIDEWALK WIDTH VARIES.

1-#4 BAR

CONTINUOUS. 2 1/2" CLEAR MIN.

18"

2"R

6"

45°

PAVEMENT

6"

THICKENED EDGE FOR
MONOLITHIC SIDEWALK

CONCRETE SLAB PER PLAN VIEW

CONCRETE GRADE BEAM WITH (4) #4 BARS CONTINUOUS

#4 DEFORMED REBAR, GR 60
24" O.C. EACH WAY
2" CLEAR MINIMUM

6"

12"

8"

8" OF 1 1/2" DENSE GRADED BASE

Technical drawings of a street sign post and arrow. The left drawing is a side elevation of the post, showing a 6-inch diameter schedule 40 steel pipe filled with concrete, embedded in a concrete footing. The post is topped with concrete and painted. The right drawing shows two views of the arrow: a straight arrow and a curved arrow. The straight arrow is 3 feet 8 inches wide at the top and 5 feet 0 inches high. The curved arrow is 6 feet 7 inches wide at the top and 8 feet 3 inches high. Both arrows are 3 feet 4 inches wide at the base and 1 foot 11 inches high at the base. The curved arrow has a radius of 4 feet 4 inches.

2'X4' TRUNCATED DOME
DETECTABLE WARNING PLATE.
PLATE SHALL BE UNFINISHED
NEENAH FOUNDRY R-4984 OR
EQUIVALENT. (TYP)

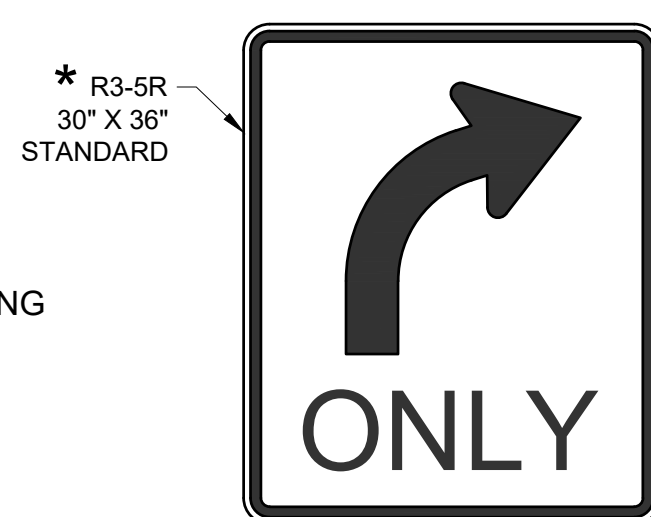
Technical drawing of a stop sign assembly. The drawing shows a red octagonal stop sign with the word "STOP" in black capital letters. The sign is mounted on a vertical post. The dimensions are as follows:

- The sign is 7'-0" high.
- The post is 2" in diameter.
- The post is 3'-0" high above the ground.
- The post is 8" in diameter at the base.
- The post is labeled "R1-1 * 30"x30"
- The post is labeled "POST FOOTING"

* R5-1
30" X 30"

DO NOT ENTER SIGN

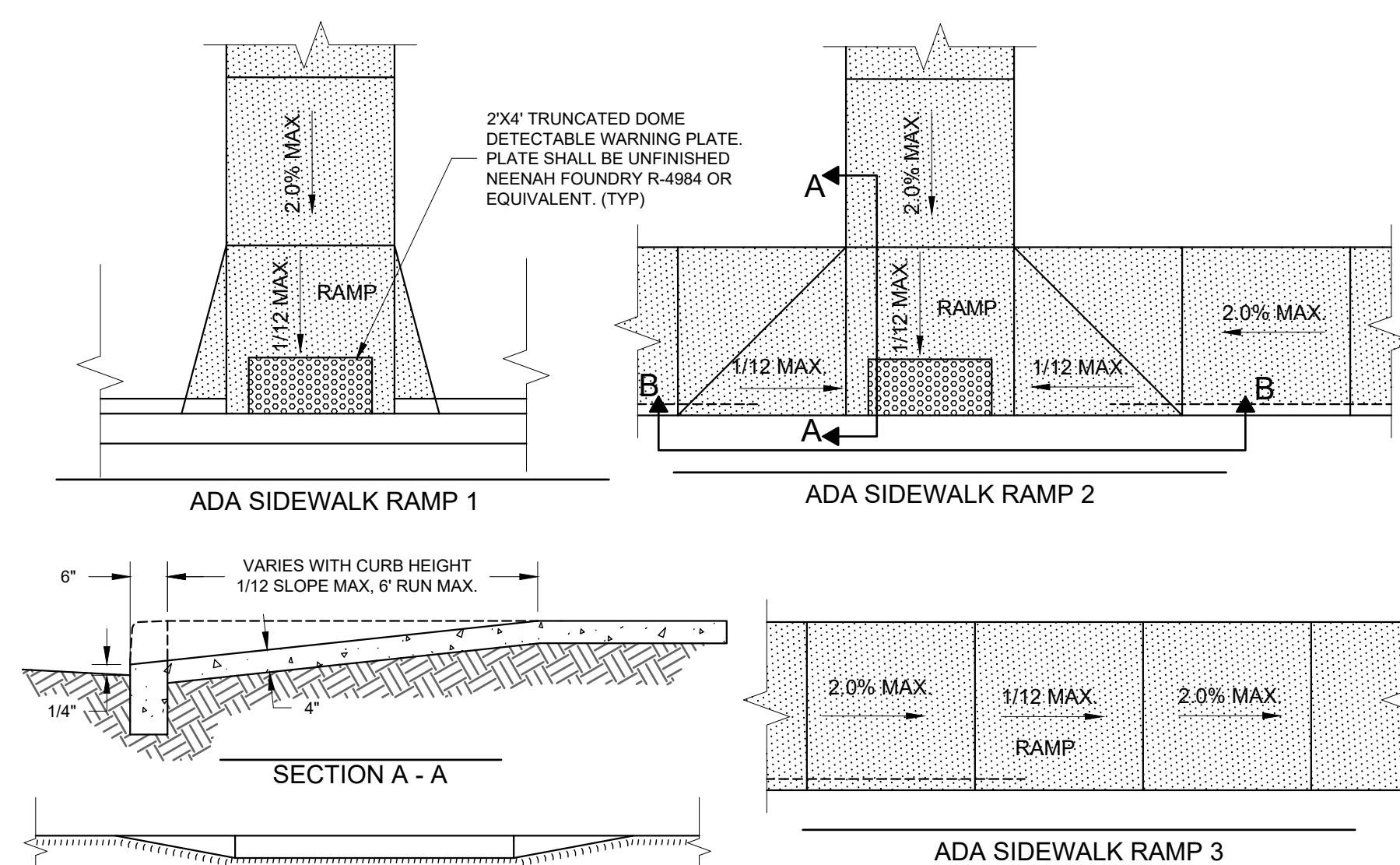
DO NOT ENTER SIGN



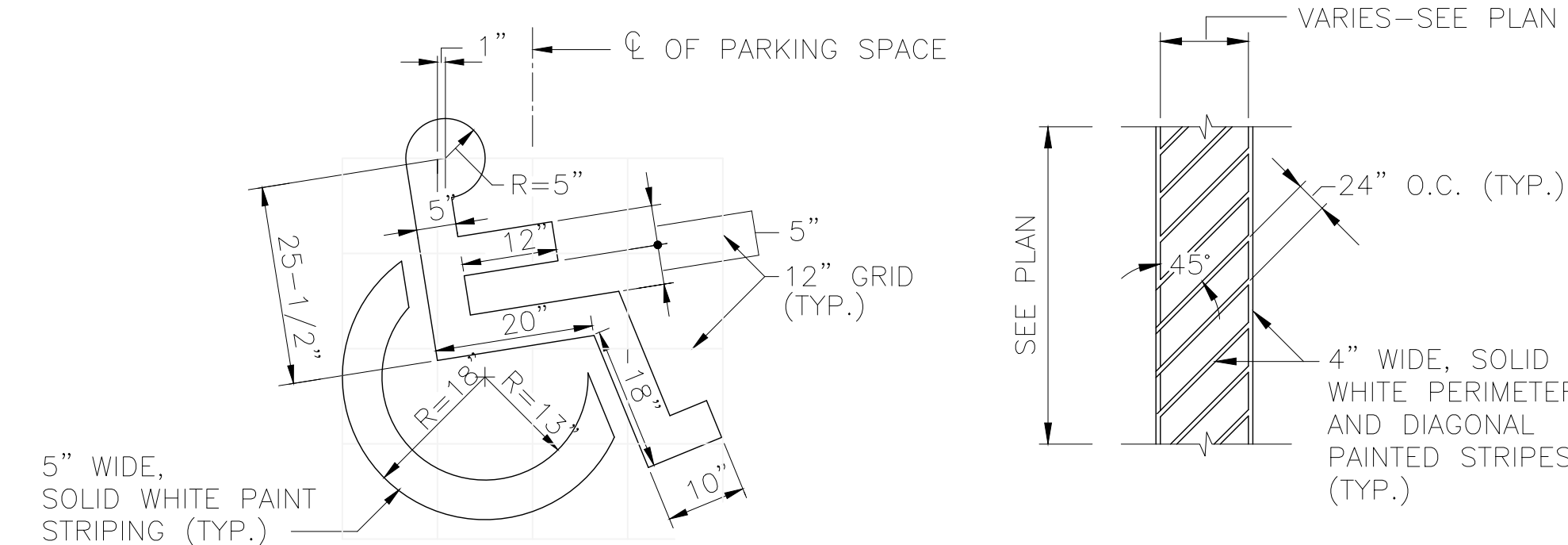
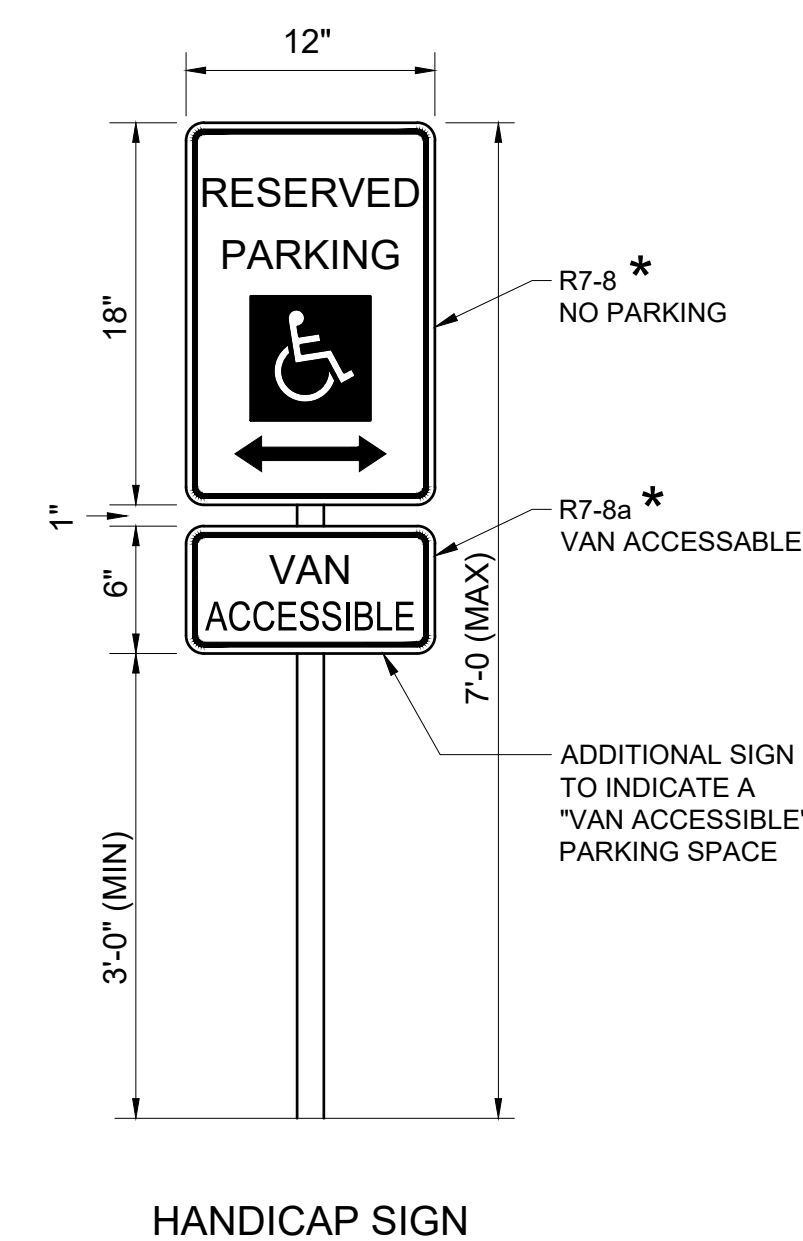
RIGHT TURN ONLY SIGN



ONE WAY SIGN



ADA SIDEWALK RAMPS

PAINTED ISLAND/
ACCESS AISLE

HANDICAP SIGN

- NOTES:** _____
1. ALL SIGN POSTS SHALL BE 2" GALVANIZED PIPE.
 2. SIGN POSTS SHALL BE BURIED 36" MINIMUM INTO COMPACTED SUBGRADE.
 3. SIGN HEIGHT SHALL BE BASED ON THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

NOT TO SCALE

MACH**IV**
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com

KP + J ARCHITECTS

DUNKIN DONUTS

SITE DETAILS

[illegible]

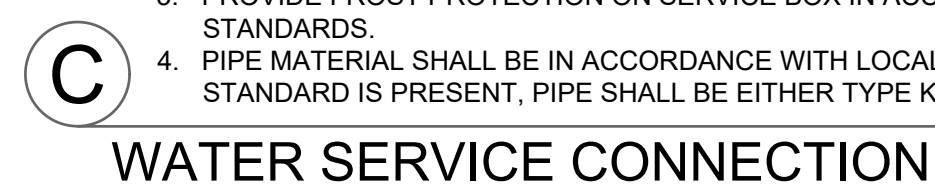
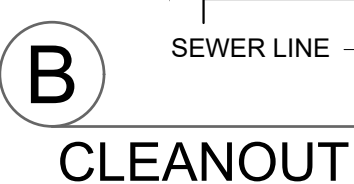
DATE: MAY 14, 2024
DRAFTED BY: RPH
CHECKED BY:
PROJECT NO.: 2195-01-24

DRAWING
NUMBER

SHEET NUMBER

C6.0

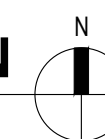
OF 1



DATE: MAY 14, 2024	
DRAFTED BY: RPH	
CHECKED BY:	
PROJECT NO.: 2195-01-24	
DRAWING NUMBER	
SHEET NUMBER	
C6.1	
OF 1	

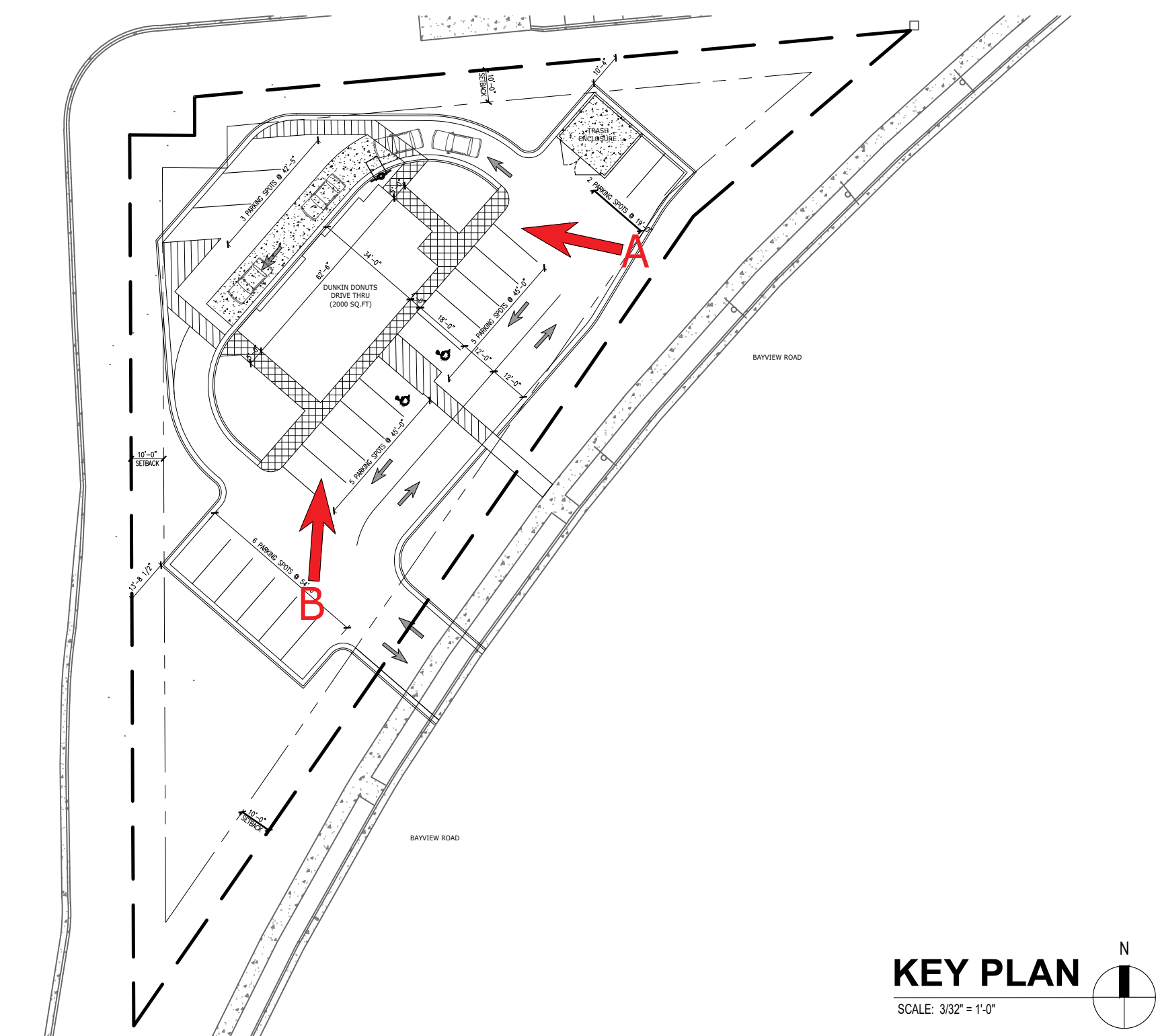


1 **SITE PLAN**
SCALE: 1/16" = 1'-0"



SITE AREA	30,582 SQ.FT
PROPOSED BUILDING AREA	2000 SQ.FT
REQUIRED PARKING	30
PROPOSED PARKING	21

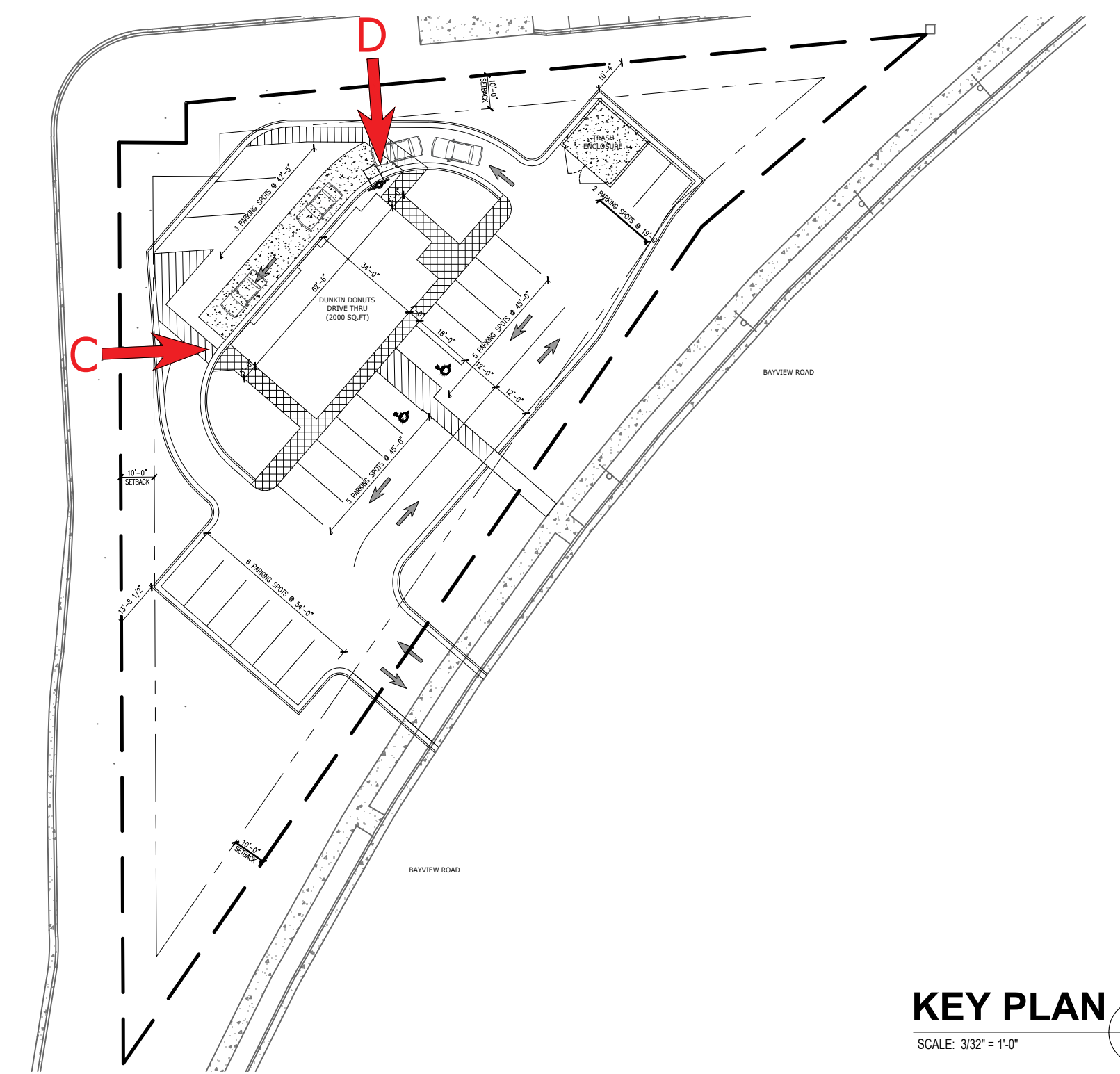




2 VIEW B
NTS



1 VIEW A
NTS



2 VIEW D
NTS



1 VIEW C
NTS

PROJECT _____ TYPE _____

SPECIFIER _____ MEMO _____

ORDERING CODE BREAKDOWN

MAIN FEATURES

- A die-cast, aluminum alloy housing with Polyester super durable powder coating for optimal thermal performance, weather resistance, gloss/color retention, and exceptional corrosion resistance
- 3,000 lumens at 20W to 16,000 lumens at 125W
- Delivering up to 164 lm/W
- Integral photocells, motions sensors, and Casambi wireless bluetooth integration
- 5 mounting options available; All mounting options allow for multiple fixture installations at 90°
- 120-277V with dim-to-off 0-10V dimming standard
- Multiple field-installed shielding options available



Extended Site Arm

EPA: 0.26 sq. ft.

WEIGHT: 11.19 lbs.



FIXTURE	LUMENS	BEAM SPREAD	CRI	CCT	VOLTAGE	CONTROLS	SURGE	PHOTOCELL RECEPTACLE	FINISH	MOUNTING	FIXTURE OPTIONS	ADAPTER OPTIONS	FIELD OPTIONS
GL1C	3H : 3,000 lm; 20W	2RM : Type II Roadway Medium	7 : 70 CRI	30 : 3000K	STD : 120-277V	10 : 0-10V	1PS : 10kV 5kA, 120-277V	00 : None	SBZ : Bronze (RAL8019)	SA : Site Arm	ZT1 : 0-10V Z Ambient Light Control	RP : Site Arm Round Pole Adapter	SOL28 HSS : House-side Shield
	4H : 4,000 lm; 30W	3RM : Type III Roadway Medium	8 : 80 CRI	40 : 4000K			2PS : *20kV 10kA, 120-277V	0Z : Z receptacle	SGY : Gray (RAL7038)	ES : Extended Site Arm	ZT3 : 0-10V Z IR + Ambient Light Control	SMCB : Wall Pack Surface Mount Conduit Box	SOL28 FSS : Front-side Shield
	5H : 5,000 lm; 40W	4WS : Type IV Wide Short		50 : 5000K				PB : Button-eye	SWH : White (RAL9003)	KM : 3" OD Knuckle	ZT4 : 0-10V Z Occupancy + IR + Ambient Light Control	ERP : Extended Site Arm Round Pole Adapter	SOL28 CSS : Cul-de-Sac Shield
	7H : 7,000 lm; 50W	5QS : Type V Square Short							SBK : Black (RAL9017)	HT : Horizontal Tenon	ZT5 : 0-10V Z Casambi Bluetooth Mesh Node		SOL28 SS : Scoop Shield
	8H : 8,000 lm; 60W	5QM : Type V Square Medium								WP : Wall Pack			
	9H : 9,000 lm; 70W												
	10H : 10,000 lm; 80W												
	11H : 11,000 lm; 90W												
	12H : 12,000 lm; 100W												
	13H : 13,000 lm; 110W												
	14H : 14,000 lm; 120W												

Notes: * Special offering, consult factory for lead time and availability.
Shields are flat-black, injection molded plastic resin, tool-less, clip-on discrete shield

Additional CRIs and/or CCTs available upon request
HSS not compatible with 4WS optics, instead use SS.

ELECTRICAL

- 120-277V
- PF>0.9, THD<20%
- Parallel surge protection: enhanced 10kV standard, extreme 20kV optional (ANSI C136.2-2015)
- For series surge protection, consult factory
- Rated for operation -40°C to 40°C; For 50°C option, consult factory

OPTICS + PERFORMANCE

- Up to 164 lumens per watt
- 3,000- to 16,000-lumen packages (20-70W)
- 5 customized distributions available
 - Type II Roadway Medium (Coefficient of Utilization: 0.793)
 - Type III Roadway Medium (Coefficient of Utilization: 0.852)
 - Type IV Wide Short (Coefficient of Utilization: 0.840)
 - Type V Square Short
 - Type V Square Medium
- Multiple shielding options available

CONSTRUCTION

- Die-cast, aluminum alloy housing for optimal thermal performance and exceptional corrosion resistance

FINISH

- TGIC polyester super-durable powder coating with superior gloss, color retention and weather resistance
- Standard finishes provided at 3 mil nominal thickness, salt-spray-tested to 3,000 hours as per ASTM B117

CONTROLS

- Dim-to-off 0-10V dimming standard
- Integral photocells, motions sensors, and Casambi wireless bluetooth integration
- Zhaga Book 18 Receptacle option for next generation ambient light/motion sensing
- Button-eye photocell

MOUNTING

- All mounting options allow for multiple fixture installations at 90°
- Round pole adapter available for site arm as a field installed option
- Surface mount conduit box (SMBC) available for wall pack as a field installed option

LISTINGS

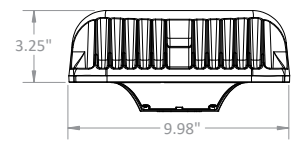
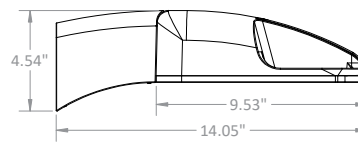
- IP66-rated optical and electrical chambers
- 3G Vibration-rated (ANSI C136.31)
- cULus Listed for wet locations
- IDA Dark Sky listed with ≤3000K and Site Arm or Horizontal Tenon
- Zhaga D4i listed

WARRANTY

- 5-year warranty

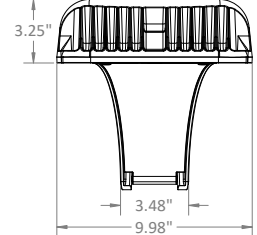
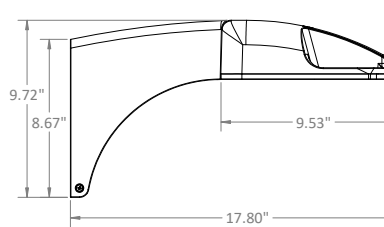
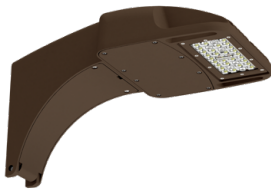
Site Arm (SA)

EPA (front)	EPA (side)	Weight
0.25 sq. ft.	0.28 sq. ft.	11.19 lbs.



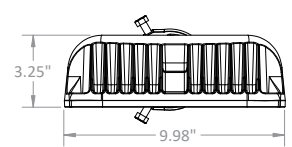
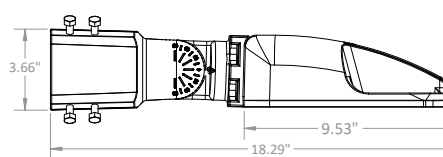
Extended Site Arm (ES)

EPA (front)	EPA (side)	Weight
0.40 sq. ft.	0.46 sq. ft.	13.69 lbs.



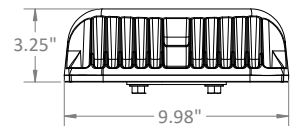
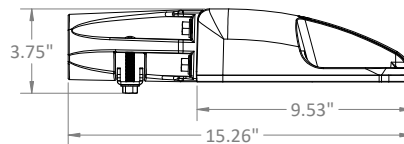
Knuckle (KM)

EPA (front)	EPA (side)	Weight
0.32 sq. ft.	0.37 sq. ft.	11.88 lbs.



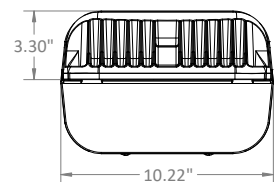
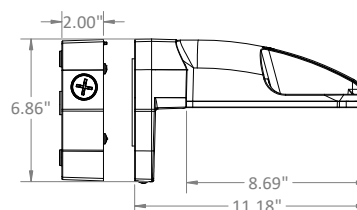
Horizontal Tenon (HT)

EPA (front)	EPA (side)	Weight
0.22 sq. ft.	0.30 sq. ft.	11.88 lbs.



Wall Pack (WP) and (WP-SMBC)

EPA (front)	EPA (side)	Weight
0.46 sq. ft.	0.23 sq. ft.	12.30 lbs.



LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Ambient Temperature		Lumen Multiplier
Celsius	Fahrenheit	
0°C	32°F	1.02
10°C	50°F	1.01
25°C	77°F	1.00
40°C	104°F	0.99
50°C	122°F	0.97

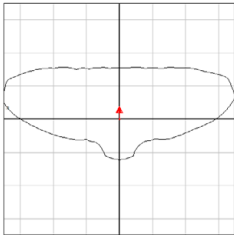
TM-21 LUMEN MAINTENANCE PROJECTION

Calculated by utilizing the LED manufacturer's LM80 test data in conjunction with third party verified in-situ LED drive current and LED temperature data. Use data below to determine light loss factors.

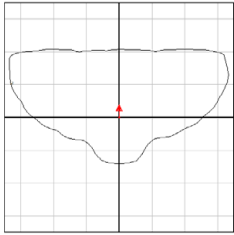
50,000 hrs	60,000 hrs	100,000 hrs
99.67%	99.49%	98.77%

PHOTOMETRIC DISTRIBUTION

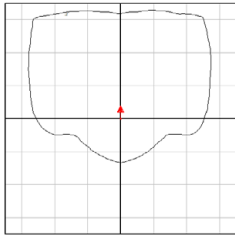
TYPE II ROADWAY MEDIUM (2RM)



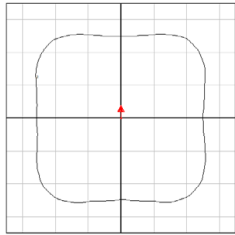
TYPE III ROADWAY MEDIUM (3RM)



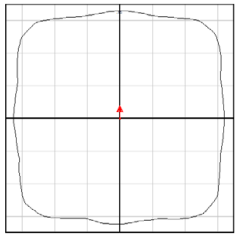
TYPE IV WIDE SHORT (4WS)



TYPE V SQUARE SHORT (5QS)



TYPE V SQUARE MEDIUM (5QM)



SHIELD ACCESSORY DETAILS

HOUSE SIDE SHIELD (HSS)

- Flat-black, injection molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light behind the fixture



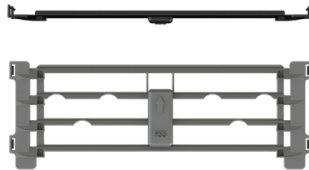
CUL-DE-SAC SHIELD (CSS)

- Flat-black, injection molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light to left and right of the fixture



FRONT SIDE SHIELD (FSS)

- Flat-black, injection molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light in front of the fixture.



SCOOP SHIELD (SS)

- Flat-black, injection-molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light behind the fixture (4WS only)



CONTROLS

0-10 V ZHAGA OPTIONS

- ZT1: Ambient Light Control
- ZT3: IR + Ambient Light Control
- ZT4: Occupancy + IR + Ambient Light Control
- ZT5: 0-10V Zhaga Casambi BLE + ALC

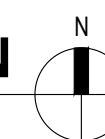


Performance Package	Wattage Label	Drive Current	Color Temp. (CCT)	Input Power (Watts)	TYPE II ROADWAY MED (2RM) AT 70 CRI			TYPE III ROADWAY MED (3RM) AT 70 CRI			TYPE IV WIDE SHORT (4WS) AT 70 CRI			TYPE V SQUARE SHORT (5QS) AT 70 CRI			TYPE V SQUARE MED (5QM) AT 70 CRI		
					Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating
3H	20	250mA	5000K	21.5	3,529	164	1 0 1	3,516	164	1 0 1	3,348	156	1 0 1	3,513	163	2 0 2	3,209	149	2 0 2
			4000K		3,448	160	1 0 1	3,435	160	1 0 1	3,271	152	1 0 1	3,433	160	2 0 2	3,135	146	2 0 2
			3000K		3,300	153	1 0 1	3,288	153	1 0 1	3,131	146	1 0 1	3,285	153	2 0 2	3,000	140	2 0 2
4H	30	353mA	5000K	31.2	4,988	160	1 0 1	4,969	159	1 0 1	4,732	152	1 0 1	4,966	159	2 0 2	4,535	145	3 0 3
			4000K		4,873	156	1 0 1	4,855	156	1 0 1	4,623	148	1 0 1	4,851	155	3 0 3	4,430	142	2 0 2
			3000K		4,664	149	1 0 1	4,646	149	1 0 1	4,425	142	1 0 1	4,643	149	3 0 3	4,240	136	2 0 2
5H	40	463mA	5000K	41.3	6,384	155	1 0 1	6,359	154	1 0 1	6,056	147	1 0 2	6,355	154	3 0 3	5,804	141	3 0 3
			4000K		6,237	151	1 0 1	6,213	150	1 0 1	5,917	143	1 0 2	6,209	150	3 0 3	5,670	137	3 0 3
			3000K		5,969	145	1 0 1	5,947	144	1 0 1	5,663	137	1 0 2	5,943	144	3 0 3	5,427	131	3 0 3
7H	50	588mA	5000K	53.4	7,893	148	2 0 1	7,863	147	1 0 2	7,488	140	1 0 2	7,858	147	3 0 3	7,176	134	3 0 3
			4000K		7,711	144	2 0 1	7,682	144	1 0 2	7,316	137	1 0 2	7,677	144	3 0 3	7,011	131	3 0 3
			3000K		7,381	138	2 0 1	7,352	138	1 0 2	7,002	131	1 0 2	7,348	138	3 0 3	6,710	126	3 0 3
8H	60	735mA	5000K	64.74	9,717	150	2 0 2	9,680	150	1 0 2	9,218	142	1 0 2	9,674	149	3 0 3	8,834	136	3 0 3
			4000K		9,494	147	2 0 2	9,458	146	1 0 2	9,006	139	1 0 2	9,451	146	3 0 3	8,631	133	3 0 3
			3000K		9,086	140	2 0 2	9,052	140	1 0 2	8,620	133	1 0 2	9,046	140	3 0 3	8,261	128	3 0 3
9H	70	840mA	5000K	73.9	10,866	147	2 0 2	10,824	146	2 0 2	10,308	139	1 0 2	10,817	146	3 0 3	9,878	134	3 0 3
			4000K		10,616	144	2 0 2	10,575	143	2 0 2	10,071	136	1 0 2	10,568	143	3 0 3	9,651	131	3 0 3
			3000K		10,160	137	2 0 2	10,121	137	1 0 2	9,639	130	1 0 2	10,115	137	3 0 3	9,237	125	3 0 3
10H	80	945mA	5000K	83.45	11,991	144	2 0 2	11,945	143	2 0 2	11,374	136	2 0 2	11,937	143	4 0 4	10,900	131	3 0 3
			4000K		11,715	140	2 0 2	11,670	140	2 0 2	11,113	133	2 0 2	11,662	140	3 0 3	10,649	128	3 0 3
			3000K		11,212	134	2 0 2	11,169	134	2 0 2	10,636	127	2 0 2	11,162	134	3 0 3	10,192	122	3 0 3
11H	90	1071mA	5000K	94.75	13,225	140	2 0 2	13,174	139	2 0 2	12,545	132	2 0 2	13,165	139	4 0 4	12,021	127	4 0 4
			4000K		12,920	136	2 0 2	12,871	136	2 0 2	12,256	129	2 0 2	12,862	136	4 0 4	11,745	124	4 0 4
			3000K		12,366	131	2 0 2	12,319	130	2 0 2	11,730	124	2 0 2	12,310	130	4 0 4	11,241	119	3 0 3
12H	100	1176mA	5000K	104.6	14,239	136	2 0 2	14,185	136	2 0 2	13,507	129	2 0 2	14,175	136	4 0 4	12,944	124	4 0 4
			4000K		13,911	133	2 0 2	13,858	132	2 0 2	13,196	126	2 0 2	13,849	132	4 0 4	12,646	121	4 0 4
			3000K		13,315	127	2 0 2	13,264	127	2 0 2	12,630	121	2 0 2	13,255	127	4 0 4	12,103	116	4 0 4
13H	110	1281mA	5000K	114.4	15,134	132	3 0 2	15,077	132	2 0 2	14,356	125	2 0 3	15,066	132	4 0 4	13,758	120	4 0 4
			4000K		14,786	129	3 0 2	14,730	129	2 0 2	14,026	123	2 0 2	14,719	129	4 0 4	13,441	117	4 0 4
			3000K		14,152	124	2 0 2	14,098	123	2 0 2	13,424	117	2 0 2	14,088	123	4 0 4	12,864	112	4 0 4
14H	120	1386mA	5000K	124.6	16,051	129	3 0 2	15,990	128	2 0 2	15,226	122	2 0 3	15,979	128	4 0 4	14,591	117	4 0 4
			4000K		15,682	126	3 0 2	15,622	125	2 0 2	14,876	119	2 0 3	15,611	125	4 0 4	14,255	114	4 0 4
			3000K		15,009	120	3 0 2	14,952	120	2 0 2	14,237	114	2 0 3	14,941	120	4 0 4	13,644	110	4 0 4





1 **SITE PLAN**
SCALE: 1/16" = 1'-0"



SITE AREA	30,582 SQ.FT
PROPOSED BUILDING AREA	2000 SQ.FT
REQUIRED PARKING	30
PROPOSED PARKING	21

**PROPOSED CONCEPTUAL SITE PLAN
MUKWONAGO, WI**

DATE : 05.09.2024

KP & J Architects & Engineers, LLC
960 Rand Rd, Suite 220
Des Plaines, IL 60016
(224) 595 - 8202
ccebrero@kpenr.com

May 14, 2024

Department of City Planning
440 River Crest Ct.
Mukwonago, WI 53149
(262) 363-6420

Village of Mukwonago,

I hope this letter finds you well. I am writing on behalf of KP & J Architects & Engineers, an established architectural and engineering firm headquartered in Des Plaines, Illinois. Our client is proposing to build new Dunkin Donuts Drive Thru Quick Service Restaurant at Mukwonago, WI. As per the requirements of the planning submission, please see below information for the Plan of Operations.

a. Hours of operation;
4am – 9pm

b. Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time;
8 total employees. Max 3 during every shift.

c. Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate the impacts of these matters on neighboring properties;
No pollution or run off. Drive thru speaker board noise will be controlled electronically, therefore no disturbance to neighbors.

d. Descriptions of any materials stored outside and any activities, processing or other operations taking place outside of an enclosed building, if otherwise allowed;
n/a

e. Compliance with the Village's Stormwater Ordinance, erosion control standards, where applicable;
Will comply with the Village.

f. Sanitary facilities and private on-site waste transfer systems are in compliance with the requirements of the county agencies with jurisdiction;
n/a

g. Facilities for managing removal of trash, solid waste and recycling materials;
Will provide an enclosed trash bin.

h. Anticipated daily traffic, including, but not limited to, the types and weights of vehicles, night provisions, necessary intersection and road improvements or other measures proposed to accommodate increased traffic and/or the weight of the vehicles being utilized;

Normal size cars/vans/suv as our daily customers. Anticipated total daily cars 200, mostly drive thru. 1 truck delivery per week during the day operations.

i. List of hazardous, toxic or explosive materials to be stored on-site, if otherwise allowed, and any spill containment, safety or pollution measures which will be put in place for the use;
n/a

j. Outdoor lighting and measures taken to mitigate light pollution and impacts to neighboring properties.
No Lighting will be facing or disturbing neighbors.

Sincerely,
Christian Cebrero
Project Manager

KP & J ARCHITECTS & ENGINEERS, LLC

RESOLUTION 2024-35

Village of Mukwonago Order Granting a Conditional Use and Prescribing Conditions for a Dunkin Donuts Drive-Through Facility on Parcel MUKV2014987, Mukwonago, WI

WHEREAS, KARDO GROUP, LLC (hereinafter "property owner") owns the property identified MUKV2014987, (hereinafter "subject property") in the Village of Mukwonago, more particularly described as follows:

PT NW1/4 & SW1/4 SEC 36 T5N R18E; COM IN W LINE OF SAID SEC AT A PNT 515.31 FT S0°45'54"W OF W1/4 CRNR OF SEC; N44°19'29"E 1592.14 FT ALNG RFRNCE LINE OF HWY 43; N39°28'34"W 984.00 FT ALNG RFRNCE LINE OF HWY 83; S50°31'26"W 80 FT TO BGN; S50°31'26"W 30.00 FT; N88°24'26"W 373.02 FT; S0°57'42" W ALNG W LINE OF NW1/4 1323.90 FT TO SW CRNR OF NW1/4; S0°45'54"W 283.13 FT; N44°19'29"E 485.11 FT; N26°09'03"E 829.49 FT; N6°09'55"W 209.40 FT; N39°28'34"W 409 FT TO BGN :: ALSO COM SW CRNR NW1/4 SEC 36; N00°51'22"E 1323.44 FT; S88°29'23"E 20.00 FT TO BGN; N00°51'22"E 11.88 FT; N85°48'36"E 221.03 FT; S44°49'38"E 49.00 FT; N88°29'23"W ALNG S LINE OF NW1/4 OF NW1/4 SEC 36 255.25 FT TO BGN :: EX DOC #1629109 & EX DOC #1654621 & EX CSM #7568 & EX DOC #2080528 & EX CSM #7914 & CSM #7915 & EX DOC #2706373 & EX CSM #9571

WHEREAS, the property owner has, consistent with the Village of Mukwonago's zoning regulations, submitted a conditional use application for a new Dunkin Donuts Drive-Through Facility per Section 100-251, and

Return to:
Diana Dykstra, Clerk-Treasurer
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Parcel Number: MUKV 2014987

WHEREAS, upon receipt of the petition submitted by the property owner and future purchaser, the Village Clerk properly referred such petition to the Plan Commission; and

WHEREAS, allowing for required public notice, the Plan Commission conducted a public hearing on June 11, 2024, to consider the petitioner's request; and

WHEREAS, members of the public in attendance were given ample opportunity to provide comment regarding the petitioner's request; and

WHEREAS, the Plan Commission passed a motion recommending to the Village Board that the conditional use be approved subject to certain conditions; and

WHEREAS, the Plan Commission, in passing on the matter, has made the following determinations consistent with Section 100-354 of Mukwonago's zoning regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
5. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner has shown compliance with the requirements set forth in the Village's zoning regulations for the specified use.

WHEREAS, the Village Board has carefully reviewed the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

NOW THEREFORE, IT IS HEREBY DETERMINED AND ORDERED AS FOLLOWS:

1. **Authorized uses.** Subject to the terms and conditions of this approval and the sections of the zoning code that apply, the property owner is authorized to construct a Dunkin Donuts Drive-Through Facility.
2. **Issuance of permit required.** The zoning administrator is authorized to issue the property owner a conditional use permit when all conditions enumerated in section 3 have been satisfied to his or her satisfaction. Such permit is the last approval before the property owner/tenant can begin to establish the use as authorized herein.
3. **Initial conditions of approval.** The following conditions shall be satisfied prior to the issuance of the conditional use permit:
 - a. The property owner must submit site/architectural plans to the Village for review and obtain approval of the same within 9 months of the date of this decision.
 - b. The property owner must accept the terms and conditions of this conditional use order in its entirety in writing within 6 months of the date of this decision. Prior to such expiration, the property owner may request an extension to this time period and the Village Clerk may approve an extension with good cause.
 - c. This order must be recorded against the subject property in the Waukesha County register of deeds office (only if subsections 3(a) through 3(b) have been satisfied).

In the event the requirements enumerated in subsections 3(a) and 3(b) above are not satisfied, this order shall automatically be null and void without any further action by the Village of Mukwonago on the aforementioned date.

4. **Ongoing conditions of approval.** The following conditions shall constitute an ongoing obligation:
 - a. Any modifications to the site, buildings, site improvements shall require the conditional use application being updated.
5. **Expansion or changes.** The conditional use hereby authorized shall be confined to the subject property without extension or expansion. Any expansion or change in use shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.
6. **Modification of property boundary lines.** The property owner shall not change the size and/or shape of the subject property by any means without the approval of the Village Board. If the Village Board determines that a proposed change is substantial with regard to the overall size of the parcel and/or configuration, such change shall require issuance of a new conditional use approval pursuant to the requirements in effect at the time of application.

7. **Plans and related matters.** Unless otherwise expressly stated herein, plans that are specifically required by this conditional use order may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the amendment to be minor and consistent with the conditional use order and permit. Any change in any plan that the Plan Commission feels, in its sole discretion to be substantial, shall require a new conditional use approval and all procedures in place at the time must be followed.

8. **Inspection.** The property owner shall allow Village of Mukwonago staff, officials, and other authorized agents to inspect the subject property, at any reasonable time and for any proper purpose related to compliance with this conditional use order.

9. **Discontinuance.** Should the conditional use be discontinued in use for 365 consecutive days the use shall be terminated as set forth in the Village of Mukwonago's zoning regulations.

10. **Private rights.** This approval is given under the Village of Mukwonago's zoning regulations and is not to be interpreted to abrogate any private rights other property owners may have pursuant to deed restrictions or restrictive covenants.

11. **Interpretation.** If any aspect of this conditional use order is in conflict with any other aspect of the conditional use order, the more restrictive provisions shall be controlling, as determined by the Plan Commission.

12. **Other permits.** This order shall not be deemed to constitute a building permit, or constitute any other license or permit required by Village ordinance, or other local, state, or federal law.

13. **Severability.** In the event a court of competent jurisdiction determines that a paragraph or phrase of this conditional use order is unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the conditional use order and the remainder shall continue in full force and effect.

14. **Heirs, successors, and assigns.** This conditional use order shall be binding upon the property owner and their heirs, successors, and assigns. Upon a change in ownership, the property owner shall notify the Village Clerk.

15. **Ongoing review.** This conditional use may be reviewed by the Plan Commission with notice to the property owner at any time upon complaint or upon Plan Commission initiative. If it is determined that the authorized use is no longer compatible, or that the provisions of this approval have not been complied with, the Village Board may revoke or amend this order after recommendation by the Plan Commission and holding of a public hearing.

16. **Amendment.** The property owner may propose an amendment to this conditional use order at anytime by submitting a written petition to the Village Clerk, which shall be reviewed pursuant to the requirements in effect at the time of application.

17. **Violation.** Any violation of this order may be treated as a violation of Mukwonago's zoning regulations and each day of each violation of each condition herein shall be treated as a separate violation.

18. **Acceptance.** GRANTEES hereby accept the said Conditional Use Grant and covenant strictly to comply with all the terms and conditions thereof. GRANTEES acknowledge that, in accordance with the provisions of the Zoning Code, failure to comply with any conditions of the Conditional Use Grant is cause for the termination of said Grant by the Village. GRANTEES also acknowledge that approval of the Conditional Use Grant allows the appropriate Village officials to conduct reasonable and routine inspections of the property. This Covenant shall run with the land and shall be binding on the GRANTEES and all persons claiming any estate or interest in the Premises by, through or under the GRANTEES, as long as the said Premises are used as described in the Conditional Use Grant

Approved this 19th day of June, 2024.

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Diana Dykstra, Village Clerk-Treasurer

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this ____ day of _____ 2024, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the ____ day of _____, 2024.

NOTARY PUBLIC

My Commission Expires:

The remainder of this page left intentionally blank.

Acceptance by Property Owner

I, _____ verify that I am an authorized agent for KARDO GROUP, LLC accepts the terms stated herein.

Dated this _____ day of _____, 2024

_____, agent

STATE OF WISCONSIN, WAUKESHA

Personally, came before me this _____ day of _____, 2024, the above-named person, _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC

My Commission Expires:

Drafted by Peter Gesch, Contracted Village Planner at the direction of the Mukwonago Village Board.

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission

FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.

REPORT DATE: June 5, 2024

MEETING DATE: June 11, 2024, 6:30 P.M.

SUBJECT: Dunkin Donuts – Site Plan & Architectural Review and Conditional Use

BASIC INFORMATION	
Project:	Dunkin Donuts
Applicant:	Kardo Rasha – Kardo Group, LLC
Consulting Engineer:	Mach IV Engineering & Surveying LLC
Consulting Architect:	KP+J Architects & Engineers
Request:	Site Plan & Architectural Review & Conditional Use
Staff Recommendation:	Approve with Conditions

PARCEL DATA/CHARACTERISTICS	
Tax Key:	MUKV2014987
Acreage:	0.65 Acres
Current Use:	Vacant
Proposed Use:	Restaurant w/ Drive-Thru
Reason for Request:	Development of new Dunkin Donuts Facility
Land Use Classification:	Business
Zoning Classification:	B-2 – General Business

Project Summary & Overview

A Dunkin Donuts facility is proposed to be constructed directly north of the intersection of Bay View Road and Greenwald Court on parcel MUKV2014987. The facility will have one entrance and exit located directly across from Greenwald Court. The development will feature a new building with a drive-thru facility and on-site parking for guests. A fast food/carry-out restaurant and sit-down restaurant are both permitted uses in the B-2 District, however a drive-thru facility requires a Conditional Use Permit.

Additional information is provided in the attached documents submitted by the applicant and staff review comments are included at the end of this report.

Original site plan documents were submitted showing two entrances and exits onto Bay View Road – one where it is shown now and one at the end of the median closer to STH 83. Staff advised the applicant that the entrance/exit closest to STH 83 would not be allowed due to possible queuing and safety concerns with the STH 83 intersection. It was recommended that the applicant contact the Brooklife Church, Inc. to discuss use of the existing driveway on the west side of the parcel that services Brooklife Church and adjacent development and eliminate the entrance/exit onto Bayview Road, however, staff is not aware of any discussions that were had between Brooklife and the Applicant.

Staff spoke with WisDOT and WisDOT indicated that they purchased access rights to the property up to the intersection with Greenwald Court, therefore, their current proposed entrance/exit would not conflict with any WisDOT access rights.

Conditional Use Request

Attached to this staff report is the justification questions for a Conditional Use Permit that have been answered by the applicant. The Planning Commission shall take these into consideration when making their decisions.

Conditional Use Process / Findings

The established review procedures are that the Plan Commission shall hold a public hearing and make a recommendation to the Village Board whom makes the final decision.

Following the close of the public hearing, the Plan Commission may recommend (1) approval, (2) approval with conditions, or (3) denial.

If approval is recommended, the Plan Commission can recommend conditions deemed necessary to protect public health, safety, and welfare. The Plan Commission, in passing on the matter, will need to make the following determinations consistent with Section 100-354 of Mukwonago's Zoning Regulations:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
2. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
3. The establishment, maintenance or operation of the conditional use is compatible with surrounding properties, whether in the same or different zoning districts. In making this determination, the Plan Commission and Village Board must determine whether the petitioner has demonstrated there are no adverse effects on surrounding properties or that potentially adverse effects have been eliminated or reduced to an acceptable level. Approaches that could be employed to mitigate potentially adverse effects will depend on the particular circumstances but may include:
 - a. Adjusting the location of the use, or parts thereof, on the subject property;
 - b. Limiting hours of operation;
 - c. Limiting the size or scope of the use, or parts thereof;
 - d. Controlling how the use is managed on an ongoing basis;
 - e. Providing additional landscaping;
 - f. Providing additional screening; and
 - g. Limiting operations conducted out-of-doors, if otherwise allowed

~Mukwonago, Village of > 12-10221 > Staff Report-20240605-Dunkin Donuts-SPAR and CU~

4. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
5. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
6. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

In addition, the property owner / tenant has shown compliance with the requirements set forth in the Village's zoning regulations for specified use.

The Village Board will carefully review the recommendation of the Plan Commission and concurs with the Plan Commission's findings set forth above, provided the conditional use is operated pursuant to the conditions of approval set forth in this order.

These findings are incorporated into the draft conditional use order which is attached.

The Plan Commission shall approve a conditional use application if the terms and conditions of the zoning regulations are met. However, in the event the terms and conditions of the ordinance are not consented to and complied with by the applicant, the Commission may deny the application. In addition, the Commission may deny the application or place conditions on it if substantial evidence, as defined in §62.23(7) Wis. Stats. is presented. That evidence must demonstrate the inability of the applicant to comply with or meet the conditions of the zoning regulations or that the conditions to be applied by the Plan Commission are necessary to protect the public health, safety or welfare of the community based upon the presentation of substantial evidence. Potential motion for approval to Recommend to the Village Board approval of the project as a conditional use as set forth in the attached conditional use order as drafted, provided the Village Attorney approves the final form of the conditional use order.

Staff Review

Engineering:	Storm water management not required. No erosion control plan provided and will need to be provided and approved before construction. Sidewalk closed signage needs to be provided when tying into storm inlet on Bay View Road.
Public Works	Right-of-way permits will be required for new drive entrance and connection to storm sewer.
Utilities	Drawings show cutting in new sanitary and water laterals for the site. Size of water and sewer not shown on plans. After some research, there is an existing 6" sewer lateral stubbed to the site that will need to be abandoned if not used. Additionally, there is an existing 1.5" water service stubbed to the site that will need to be abandoned if not used.
Police	No comments at this time.
Fire:	No comments at this time.

Building Inspection

Lighting Plan does not include photometrics. Staff will need to review and approve prior to issuance of a building permit.

Planning

Architectural plans state 30 required parking spots and engineering plans state 6 required spots. Both sets of drawings are incorrect in this manner. Required parking is 1 space per 3 seats (1 seat = 10SF dining area) and this equates to 6 required spots with 180 SF of dining area. Plus 1 spot per employee is required. Plan of operation states 3 employees per shift and 8 employees total. Drive-thru facility requires stacking of 6 vehicles plus 2 spaces if delivery vehicles are used. Plan of operation does not indicate delivery service. Required on-site parking is 9 spaces per ordinance, however plan commission has opportunity to require more. 21 spaces are being provided. Drive-thru stacking requirement is being met.

Minor concerns with delivery vehicles blocking on-site traffic flow.

Setbacks, greenspace, max lot coverage, and other district requirements are all being met.

Recommended Action**Conditional Use Permit**

Staff recommends the Planning Commission recommend to the Village Board approval of a conditional use permit as set forth in the provided resolution.

To – Grant a Conditional Use Permit for a drive-thru facility with the following on-going conditions deemed necessary to protect the health, safety, and welfare:

1. Ongoing conditions of approval. The following conditions shall constitute an ongoing obligation:
 - a. Any modifications to the site, buildings, site improvements, shall require the conditional use application being updated.
2. The following conditions are also true and are consistent with Section 100-354 of Mukwonago's zoning regulations:
 - a. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or welfare of the Village.
 - b. The uses, values and enjoyment of other property in the surrounding neighborhood that are already permitted shall be, in no foreseeable manner, substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.
 - c. The establishment, maintenance or operation of the conditional use is compatible with surrounding properties, whether in the same or different zoning districts.
 - d. The establishment of the conditional use will not impede the normal and ordinary development and improvement of the surrounding property for uses permitted within the district and/or which are consistent with the standards in the Comprehensive Plan.
 - e. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the use.
 - f. Adequate measures have been taken or will be taken providing ingress and egress to minimize traffic congestion on public streets so as not to diminish the level of service of any intersection which is impacted by traffic arising from the conditional use.

~Mukwonago, Village of > 12-10221 > Staff Report-20240605-Dunkin Donuts-SPAR and CU~

Staff Report – SPAR & Conditional Use
Dunkin Donuts
June 5, 2024
Page 5

Site Plan and Architectural Review

Staff Recommends the Planning Commission Approve a resolution for the Site Plan and Architectural Review, as set forth in the attached resolution.

Attachments

1. Application and Development Information
2. Plans and Site Drawings



VILLAGE OF MUKWONAGO

CONDITIONAL USE PERMIT REQUIREMENTS

- ☐ Application Completeness: See page 2 for complete list of submittals.
- ☐ Pre-Application Meetings: Available upon request.
- ☐ Application Submission:
 - ☐ **Applications must be submitted electronically** through the Village on-line permit system. The system may be accessed through this [link](#).
 - ☐ If you are a new user, you will need to start by creating a “Contractor” account. A “Contractor” is a non-owner (Business Owner, Design Professional, etc). If you are the property AND business owner, you may apply as a “Homeowner”.
 - ☐ Once you arrive to the site you will need to apply for a “Planning, Zoning, or Engineering Process”. This link can be found on the left side of the screen under Planning and Zoning page of the Village website. The program will allow you search by the address, apply for appropriate application, input various information, and upload documents.
 - ☐ Fees: Fees may be paid in one of three ways.
 1. You may pay your fee online. After the application is submitted staff has received and reviewed the application an email will be sent to the applicant (email that is provided) letting you know that you can pay the fee online. There is an additional fee associated with this option.
 2. You may pay with cash or a check by mailing or bring the check to Village Hall. There is not a transaction fee associated with this option.
 3. You may pay with a credit card at Village Hall during normal hours and in person. There is a transaction fee association with this option.
 - ☐ Meeting Dates: Plan Commission meets on the second Tuesday of each month at 6:30 p.m. A schedule of meeting dates can be found at our [web site](#). The Village Board meets on the 3rd Wednesday of the month at 6:30p.m.
 - ☐ Application Deadlines: Applications deadlines are approximately 5 weeks prior to the scheduled meeting. A schedule of deadlines may be found on our [web site](#).

PROCEDURAL CHECKLIST FOR CONDITIONAL USE REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a conditional use.

Application Submittal Requirements for Village and Applicant Use (Check off List)

Application:

- ☒ Online Application Completed
- ☒ Application fee: [current fee schedule](#)
- ☒ Agreement for Reimbursable Services Acknowledgement

Required site drawings:

- ☒ Survey of the property
- ☒ Landscape plan
- ☒ Parking plan (including parking computations)
- ☒ Lighting plan (including photo metrics and cut sheets)
- ☒ Proposed location and connection to the sanitary sewer and water mains
- ☐ Preliminary Stormwater Management plan (if applicable)
- ☒ All building elevations (color renderings)
- ☐ Building Material Cut Sheets
- ☒ Floor plans
- ☒ Signage proposed (additional permit and approvals required under Ch. 64)

Other Documents:

- ☒ Plan of operation/proposal
- ☒ Justification of CU Request – see below
- ☒ Electronic Submittals are required. All documents need to be uploaded into the BS&A Software.
- ☐ Any additional information as determined by Village Staff.
- ☐ Any Licenses from the Village Clerk.

JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

The Plan Commission and Village Board of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. **Applicant: Please fill out ALL of the questions. Use additional sheets of paper if needed.**

- A. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The proposed use will be for a commercial restaurant with seating and drive through capacity. The proposed development will adhere to the required Village zoning dimensional and performance standards.

- B. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

The proposed use will be for a commercial restaurant with seating and drive through capacity. The proposed development will adhere to the required Village zoning dimensional and performance standards.

- C. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 100-354 (a), (b), and (c)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development?

No, the proposed development will not created any adverse impacts.

- D. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed use will be for a commercial restaurant with seating and drive through capacity. The property is zoned B-2 for "General Business" which permits restaurants.

- E. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes, there are public utilities available to serve the property.

F. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Sections 100-354 (e)(1) and (2)), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, there proposed development will be accessible to both pedestrian and vehicular traffic to provide food and beverage (restaurant) service to the public. The proposed development is a suitable fit for the small parcel.

Village of Mukwonago
440 River Crest Ct
Mukwonago, WI 53149
Phone: (262) 363-6420
Fax: (262) 363-6425
www.villageofmukwonago.com

VILLAGE OF MUKWONAGO

SITE PLAN, ARCHITECTURAL, AND PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Application Fee: Below

Date Submitted: _____

FEES

(Please check one)

- ☐ Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- ☐ Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.
- ☐ Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- ☐ Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit
- ☐ Resubmittal of or Amendment to Site Plan and/or Architectural Review: \$200.00

CONTACTS

Zoning and Planning Department

Contact:

Phone: (262) 363-6420 ex 2111

Fax: (262) 363-6425

Email: planner@villageofmukwonago.com

GUIDELINES

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner
ATTN: Site Plan/Architectural Plan/Planned Unit Development
440 River Crest Ct
Mukwonago, WI 53149
Deliver to: Village Clerk's Office
440 River Crest Ct
Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

APPLICANT (Full Legal Name)

Name: Kardo Rasha

Company: Kardo Group LLC

Address: 3209 York Road City: Oak Brook State: IL Zip: 60523

Daytime Phone: (847) 668-6842 Fax: _____

E-Mail: kardo.rasha@gmail.com

APPLICANT IS REPRESENTED BY (Full Legal Name)

Name: Christian Cebrero
Company: KP+J Architects & Engineers
Address: 960 Rand Road City: Des Plaines State: IL Zip: 60016
Daytime Phone: (224) 499-0982 Fax: _____
E-Mail: jolly@kpenr.com

ARCHITECT

Name: Jolly Thulaseedas
Company: KP+J Architects & Engineers
Address: 960 Rand Road City: Des Plaines State: IL Zip: 60016
Daytime Phone: (224) 499-0982 Fax: _____
E-Mail: jolly@kpenr.com

PROFESSIONAL ENGINEER

Name: Brad McDermid, P.E.
Company: Mach IV Engineering & Surveying LLC
Address: 2260 Salscheider Ct City: Green Bay State: WI Zip: 54313
Daytime Phone: (708) 308-2183 Fax: _____
E-Mail: bmcdermid@mach-iv.com

REGISTERED SURVEYOR

Name: Andrew Cleveland, PLS
Company: Mach IV Engineering & Surveying LLC
Address: 2260 Salscheider Ct City: Green Bay State: WI Zip: 54313
Daytime Phone: (920) 712-2328 Fax: _____
E-Mail: acleveland@mach-iv.com

CONTRACTOR

Name: Nilax Patel
Company: Resa Construction
Address: 711 N. Elmhurst Rd City: Prospect Heights State: IL Zip: 60070
Daytime Phone: (847) 850-5510 Fax: _____
E-Mail: nilax@resaconstruction.com

PROPERTY INFORMATION

Property Owner (s) (if different from applicant): Darwin N and Donna E Greenwald Living Trust
Address: 1243 Fox River Ct City: Mukwonago State: WI Zip: 53149
Daytime Phone: (262) 363-4095 Fax: _____
E-Mail: DARWIN@GREENWALD.BIZ
Present Zoning: _____ Tax Key No(s): MUKV2014987
Location/Address: Bayview Road
Present Use: Vacant Intended Use: Drive-Thru Restaurant (coffee shop)

PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

Submittals for review must include and be accompanied by the following:

Application:

- ☐ Completed application form including the procedural checklist.
- ☐ Application fee: See page 1.
- ☐ Agreement for Reimbursable Services (separate application).

Other Documents:

- ☐ Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.
 - ☐ Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
 - ☐ **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to planner@villageofmukwonago.com.
 - ☐ Any additional information as determined by Village staff.
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
 - All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.

CERTIFICATION

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this application is being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met.

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).



Signature - Property Owner

(Darwin N and Donna E Greenwald Living Trust)

Name & Title (PRINT)

5/17/2024

Date

Signature - Property Owner

Name & Title (PRINT)

Date



Signature - Applicant

Kardo Rasha

Name & Title (PRINT)

5/21/24

Date

Christian Cebrero

Digitally signed by Christian Cebrero
Date: 2024.05.21 11:48:33-0500

Signature - Applicant's Representative

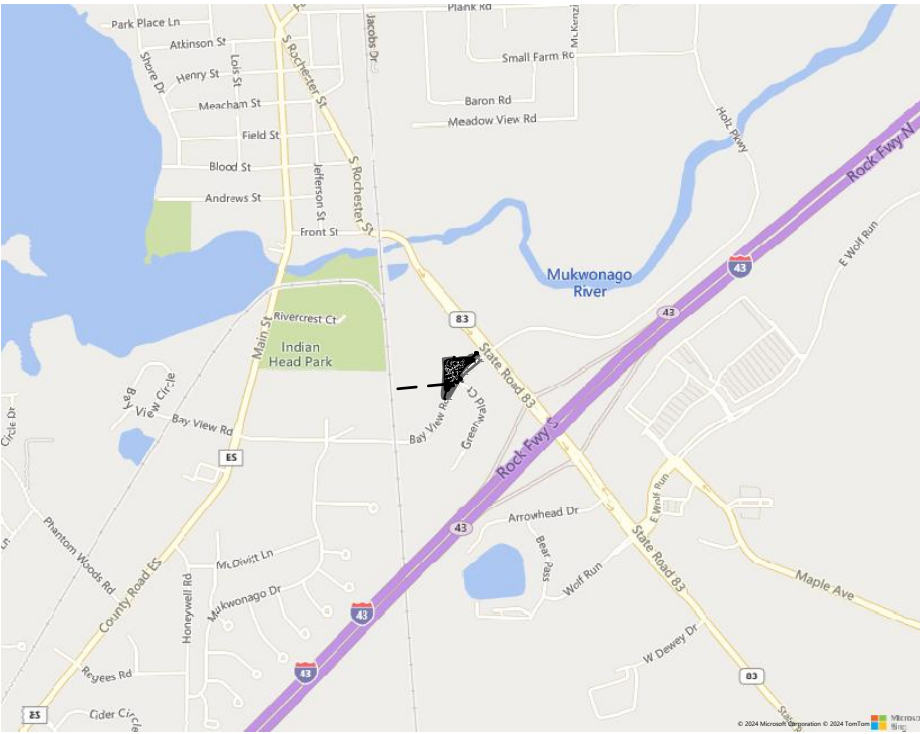
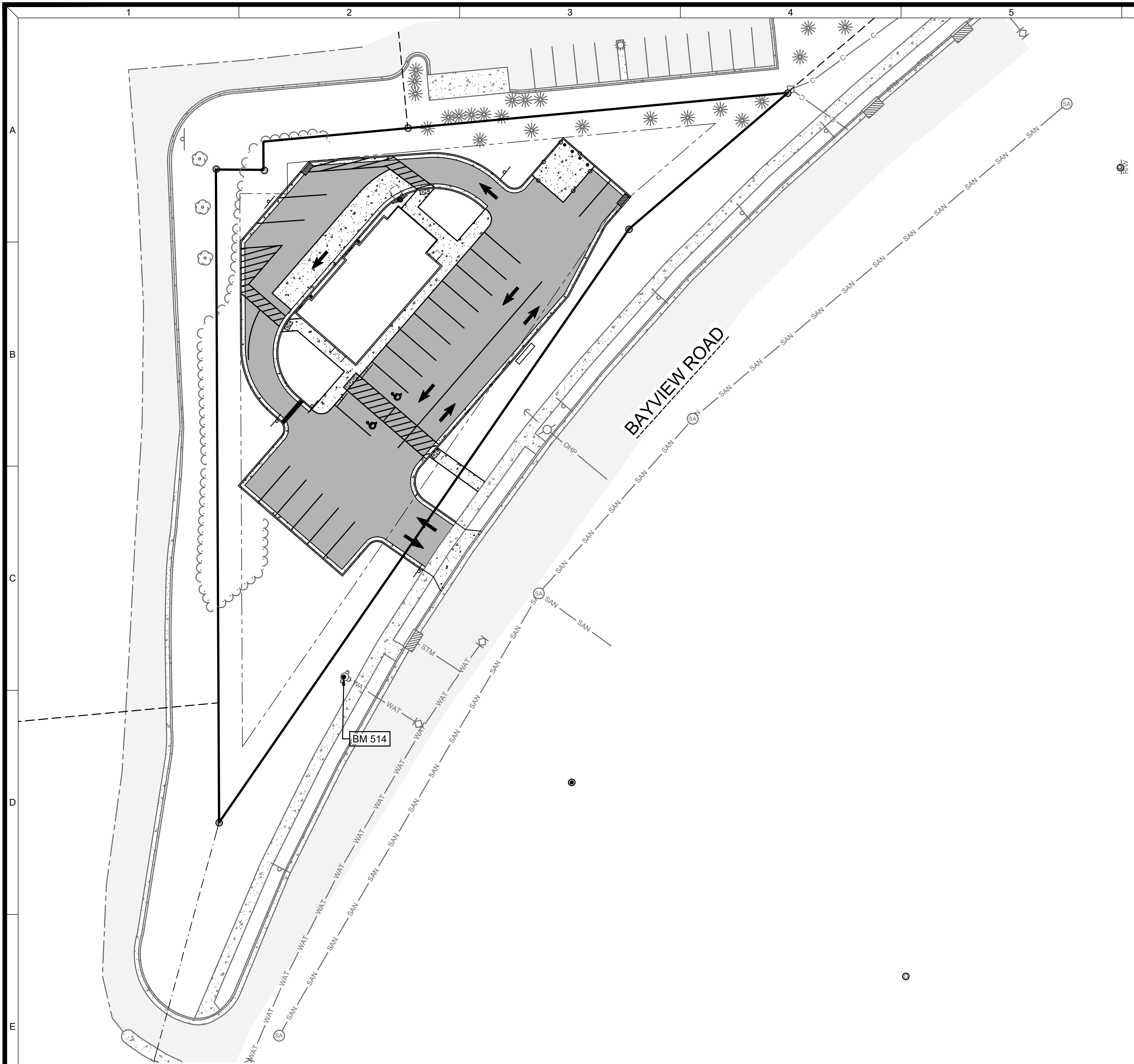
Christian Cebrero

Name & Title (PRINT)

Date

FOR OFFICE USE ONLY	
Date Paid	Receipt #
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? ☐ Yes ☐ No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	

R:\Jobs\2195-01-24 Mukwonago Dunkin Donuts\DRAWINGS\2195-01-24 Eng.dwg 5/14/2024 3:44:14 PM



LOCATION MAP

TBD
MUKWONAGO, WI 53149

NOT TO SCALE

Benchmarks		
Label	Elevation	Description
BM 513	814.92	HYDRANT ARROW HEAD
BM 514	816.92	HYDRANT ARROW HEAD

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 SITE & UTILITY DETAILS
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

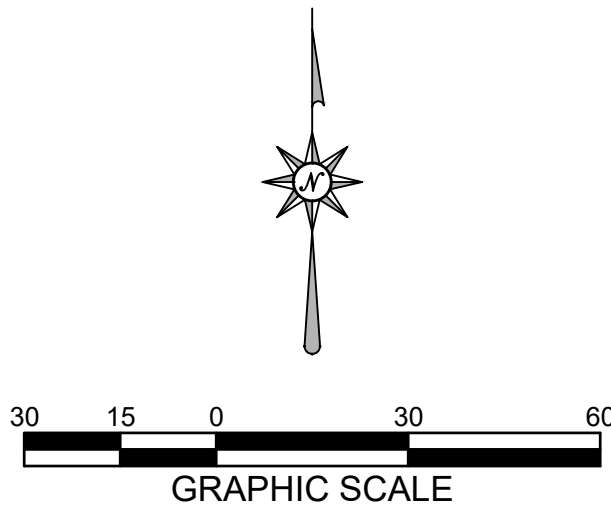
- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC APRIL10 2024.
- SURVEY VERTICAL DATUM IS NAVD88.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
- FOR NOTES SHOWN THUS, "Ⓢ", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



CIVIL LEGEND

EXISTING		PROPOSED	
CABLE PEDESTAL		EVERGREEN SHRUB	
ELECTRIC METER		EVERGREEN TREE	
ELECTRIC PEDESTAL		TREE	
GUY WIRE		TREE SHRUB	
LIGHT POLE		BUILDING OVERHANG	
POWER POLE		UNDERGROUND CABLE	
GAS METER		OVERHEAD WIRE	
GAS VALVE		UNDERGROUND ELECTRIC	
BOLLARD		GAS	
HANDICAP PARKING		LANDSCAPE	
SANITARY CLEANOUT		FENCE	
SANITARY MANHOLE		GUARDRAIL	
CATCH BASIN		CENTERLINE	
CULVERT		CURB	
DOWNSPOUT		PARKING STRIPE	
INLET		SANITARY SEWER	
INLET 2' X 2'		CULVERT	
STORM CLEANOUT		STORM SEWER	
STORM MANHOLE		FIBER OPTIC	
FIBER OPTIC PEDESTAL		WOOD LINE	
SIGN		RETAINING WALL	
FIRE HYDRANT		WATERMAIN	
WATER SHUT OFF		CONTOUR MAJOR	
WATER VALVE		CONTOUR MINOR	

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
EL	ELECTRIC (BURIED)	SA	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SAN	SANITARY
FFE	FIRST FLOOR ELEVATION	SCHD	SCHEDULE
FL	FLOW LINE	S.D.	SUMP DEPTH
FO	FIBER OPTIC	SQ	SQUARE
FT	FEET	ST	STORM
G	GAS	S.T.H.	STATE TRUNK HIGHWAY
G.F.E.	GROUND FLOOR ELEVATION	STM	STORM
GR	GRADE	T	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	T/C	TOP OF CURB
INL	INLET	U.S.H.	UNITED STATES HIGHWAY
INV	INVERT	V	VARIES
M	METER	W	WEST
MAX	MAXIMUM	WAT	WATER
MH	MANHOLE	WI	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

KP + J ARCHITECTS

DUNKIN DONUTS

COVER SHEET

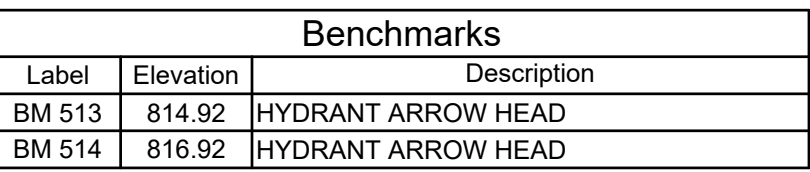
REVISION DESCRIPTION

NO.

DATE: MAY 14, 2024
DRAFTED BY: RPH
CHECKED BY:
PROJECT NO.: 2195-01-24
DRAWING NUMBER
SHEET NUMBER

C0.1

OF 1



Benchmarks		
Label	Elevation	Description
BM 513	814.92	HYDRANT ARROW HEAD
BM 514	816.92	HYDRANT ARROW HEAD



MACH**IV**
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com

KP + JARCHIECIS

DUNKIN DONUTS

EXISTING CONDITIONS & DEMOLITION PLAN

[illegible]

DATE: MAY 14, 2024
DRAFTED BY: RPH
CHECKED BY:
PROJECT NO.: 2195-01-24

DRAWING NUMBER	
-------------------	--

C1.0

OF 1



Benchmarks		
Label	Elevation	Description
BM 513	814.92	HYDRANT ARROW HEAD
BM 514	816.92	HYDRANT ARROW HEAD

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C6.0
- ② CONCRETE PAVEMENT; SEE DETAIL B SHEET C6.0
- ③ CONCRETE CURB & GUTTER; SEE DETAIL C SHEET C6.0
- ④ CONCRETE SIDEWALK; SEE DETAIL D SHEET C6.0
- ⑤ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- ⑥ DUMPSTER PAD; SEE DETAIL E SHEET C6.0
- ⑦ DUMPSTER ENCLOSURE; REFER TO ARCHITECTURAL DRAWINGS
- ⑧ BOLLARD; SEE DETAIL F SHEET C6.0
- ⑨ DIRECTIONAL TRAFFIC FLOW ARROW; SEE DETAIL G SHEET C6.0
- ⑩ ADA DETECTABLE WARNING PLATE; SEE DETAIL H SHEET C6.0
- ⑪ ADA SIDEWALK RAMP; SEE DETAIL I SHEET C6.0
- ⑫ ADA HANDICAP STALL SYMBOL; SEE DETAIL J SHEET C6.0
- ⑬ ADA HANDICAP SIGN; SEE DETAIL K SHEET C6.0
- ⑭ 4" WIDE PAINT STRIPE; COLOR BY OWNER
- ⑮ "DO NOT ENTER" SIGN; SEE DETAIL K SHEET C6.0
- ⑯ "STOP" SIGN; SEE DETAIL K SHEET C6.0
- ⑰ "ONE WAY TRAFFIC" SIGN; SEE DETAIL K SHEET C6.0
- ⑱ 18" WIDE PAINTED STOP BAR
- ⑲ MONUMENT SIGN LOCATION
- ⑳ CONCRETE DRIVEWAY APRON; SEE DETAIL A SHEET C6.1

SITE STATISTICS

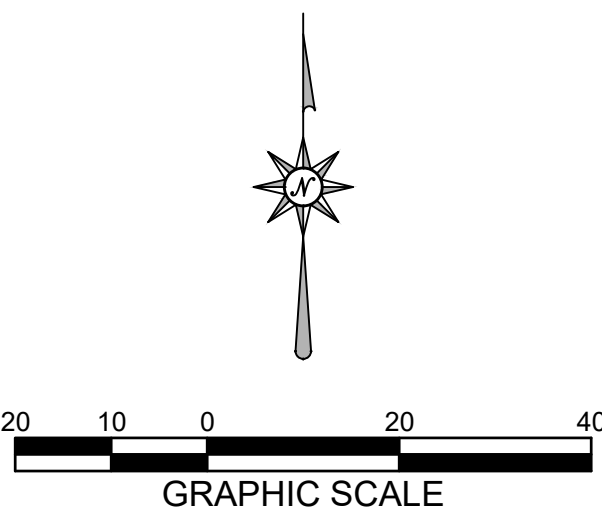
PARCEL ADDRESS:	TBD
PARCEL NUMBER:	MUKV2014987
PARCEL SIZE:	30,577 SF (0.70 AC)
ZONING:	B-2 (GENERAL BUSINESS)

EXISTING SITE	
GREEN SPACE:	30,577 SF (100.0%)
IMPERVIOUS AREA	
BUILDING:	0.0 SF (0.0%)
PAVEMENT:	0.0 SF (0.0%)
TOTAL IMPERVIOUS:	0.0 SF (0.0%)

PROPOSED SITE	
TOTAL DISTURBED AREA:	30,577 SF (0.70 AC)
GREEN SPACE REQUIRED:	25% (7,644 SF)
GREEN SPACE PROVIDED:	13,760 SF (45.0%)
IMPERVIOUS AREA	
BUILDING:	1,985 SF (6.5%)
PAVEMENT:	14,832 SF (48.5%)
TOTAL IMPERVIOUS:	16,817 SF (55.0%)

PARKING PROVIDED
PARKING SPACES REQ'D/CALCS: 1 STALL / 3 SEATS (1 SEAT = 10 SF DINING AREA)
180 SF DINING AREA / (10 SF / SEAT) = 18 SEATS
(1 STALL / 3 SEATS) * 18 SEATS = 6 STALLS

PARKING SPACES PROVIDED: 21 STALLS (INCLUDES 2 ADA HANDICAP STALLS)



STANDARD DUTY ASPHALT PAVEMENT

2. CONCRETE SHALL RECEIVE A BROOMED FINISH.

CONCRETE PAVEMENT/SLAB

C

2. LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER
3. CURB SHALL BE PLACED ON A MINIMUM OF 6" OF COMPACTED SUBGRADE

18" CONCRETE CURB AND GUTTER

3. SIDEWALK WIDTH VARIES.

CONCRETE SIDEWALK

E

DUMPSTER ENCLOSURE PAD

ADA SIDEWALK RAMPS

NOTES:

1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH "ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" LATEST EDITION.
2. USE RAMP 1 WHERE ADA ROUTE MEETS CURB AND THERE IS NO PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
3. USE RAMP 2 WHERE ADA ROUTE MEETS CURB AND THERE IS PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
4. USE RAMP 3 WHERE ADA ROUTE DOES NOT MEET CURB BUT A RAMP SECTION IS REQUIRED FOR GRADE.
5. DETECTABLE WARNING SHALL BE PLACED WHERE PEDESTRIAN TRAFFIC IS AT GRADE WITH VEHICULAR TRAFFIC.
6. MAXIMUM RAMP RUN IS 6' AT 1/12 SLOPE FOR A MAXIMUM RISE OF 6". RAMPS WITH A RISE OF >6" REQUIRE AN ADA COMPLIANT HANDRAIL.

J H.C. SYMBOL

HANDICAP PAVEMENT MARKING DETAILS

F
PIPE BOLLARD - 6"

G DIRECTIONAL ARROWS

(K)

TRAFFIC CONTROL SIGN DETAILS

* SIGN DESIGNATIONS AS PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR FOR STREETS AND HIGHWAYS.

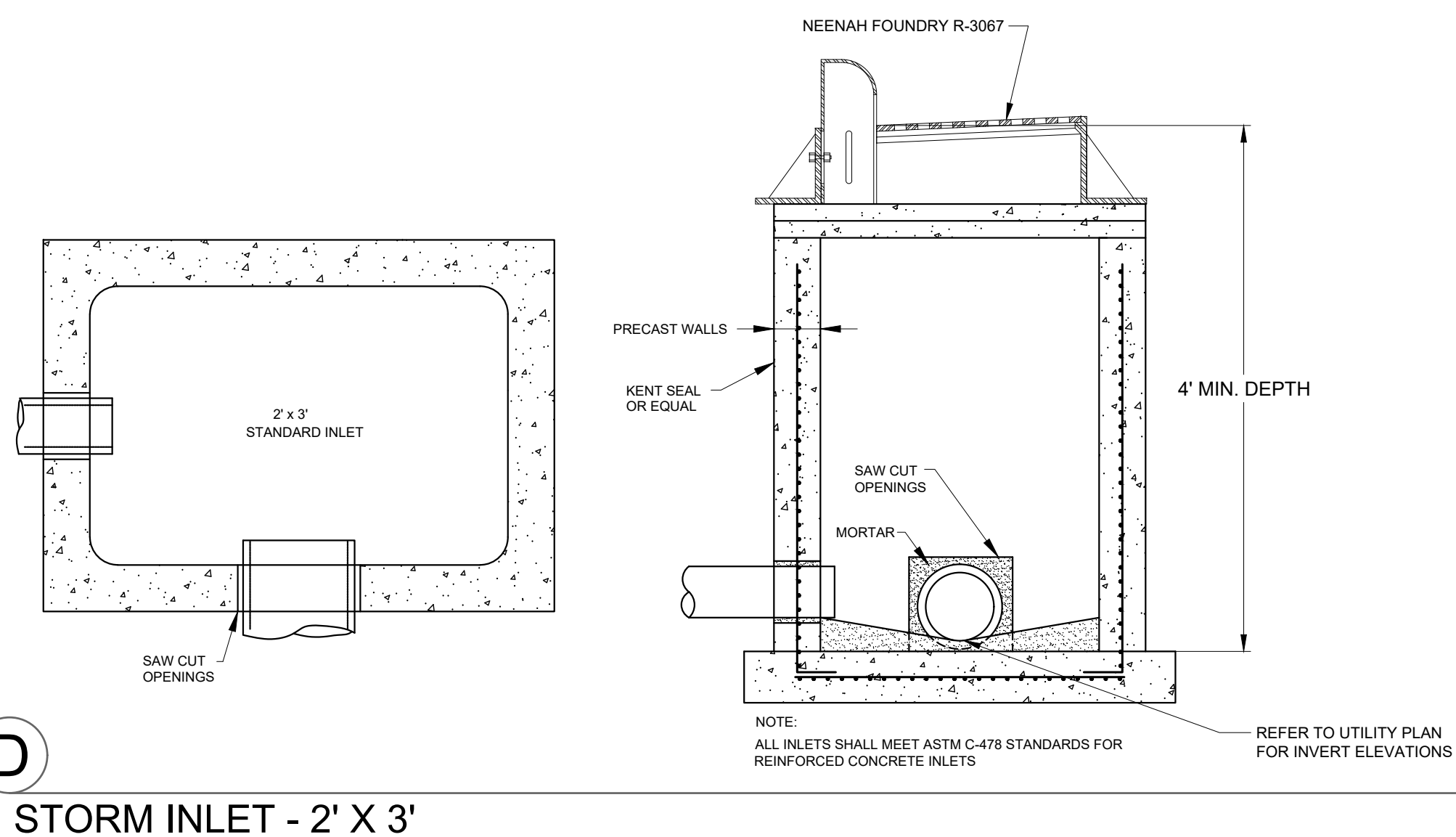
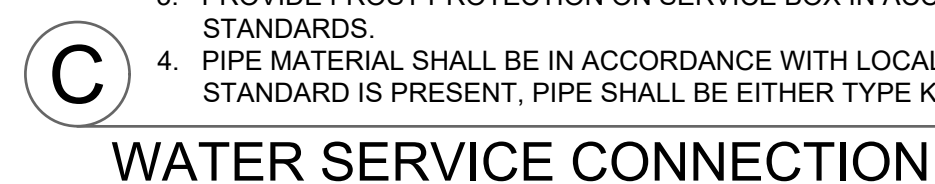
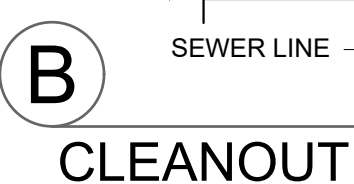
NOTES:

1. ALL SIGN POSTS SHALL BE 2" GALVANIZED PIPE.
2. SIGN POSTS SHALL BE BURIED 36" MINIMUM INTO COMPACTED SUBGRADE.
3. SIGN HEIGHT SHALL BE BASED ON THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

HANDICAP SIGN

H WHERE PEDESTRIAN TRAFFIC IS AT GRADE WITH VEHICULAR TRAFFIC.

ADA DETECTABLE WARNING PLATE

[illegible]



SHEET KEY NOTES:

- 1 PROTECT EXISTING TREE TO REMAIN
- 2 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH; SEE DETAIL A THIS SHEET
- 3 PROFESSIONAL GRADE EDGING
- 4 3" HARDWOOD MULCH WITH WEED BARRIER FABRIC
- 5 LAWN

PLANT TABLE

A cross-sectional diagram of a shrub planting. A shrub is shown with its root ball. The layers from top to bottom are: MULCH (TYP.) indicated by a cross-hatch pattern; EXISTING GRADE (TYP.) indicated by a dotted pattern; PREPARED PLANTING SOIL (TYP.) indicated by a diagonal line pattern; and EXISTING GROUND (TYP.) indicated by a horizontal line pattern. The title "SHRUB PLANTING" is centered below the diagram.



1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SOIL OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.

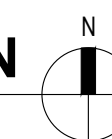


LANDSCAPE PLAN

DATE: MAY 14, 2024	
DRAFTED BY: RPH	
CHECKED BY:	
PROJECT NO.: 2195-01-24	
DRAWING NUMBER	
SHEET NUMBER	
L1.0	
OF 1	



1 SITE PLAN
SCALE: 1/16" = 1'-0"

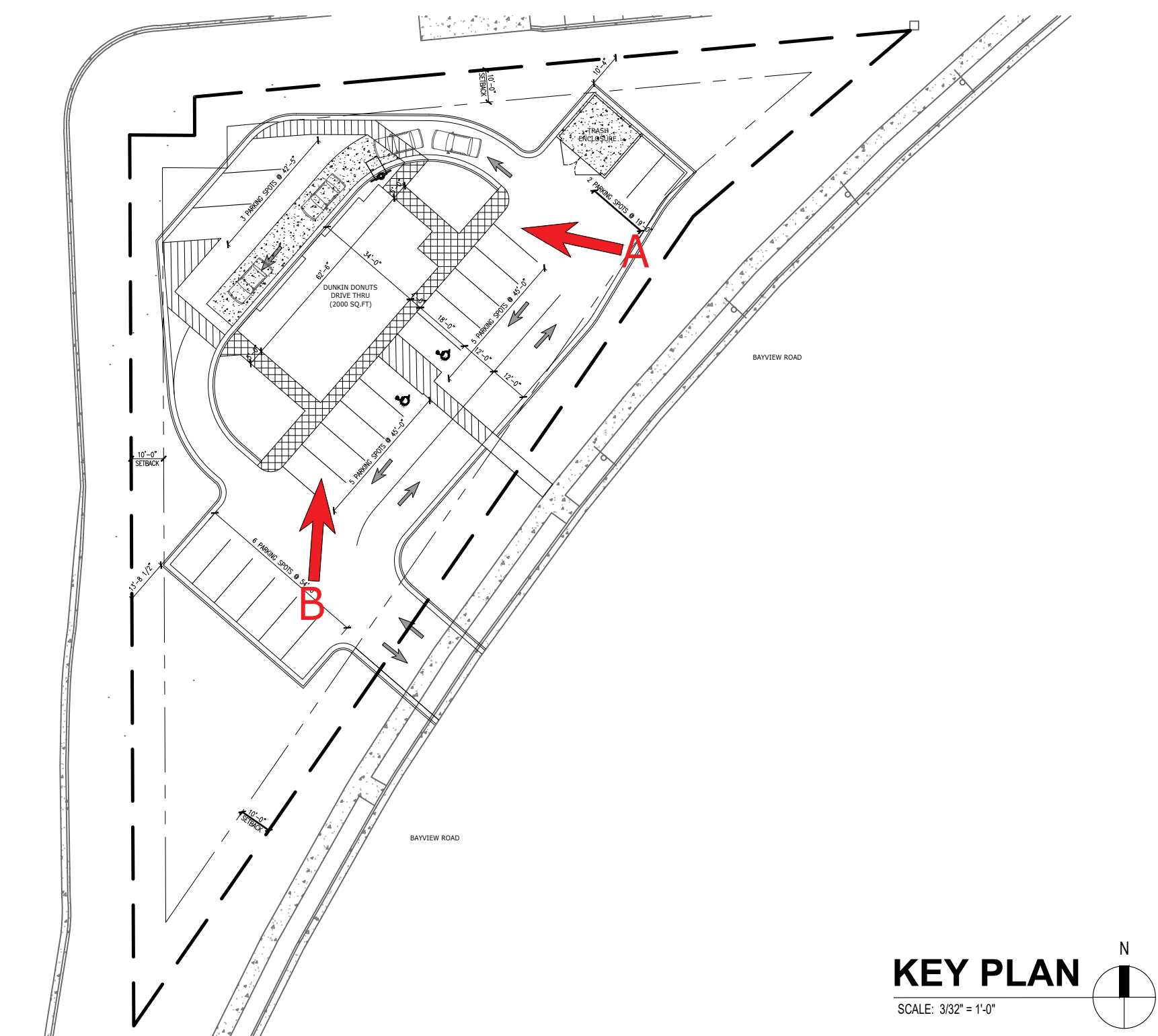


SITE AREA	30,582 SQ.FT
PROPOSED BUILDING AREA	2000 SQ.FT
REQUIRED PARKING	30
PROPOSED PARKING	21

PROPOSED CONCEPTUAL SITE PLAN MUKWONAGO, WI

DATE : 05.09.2024

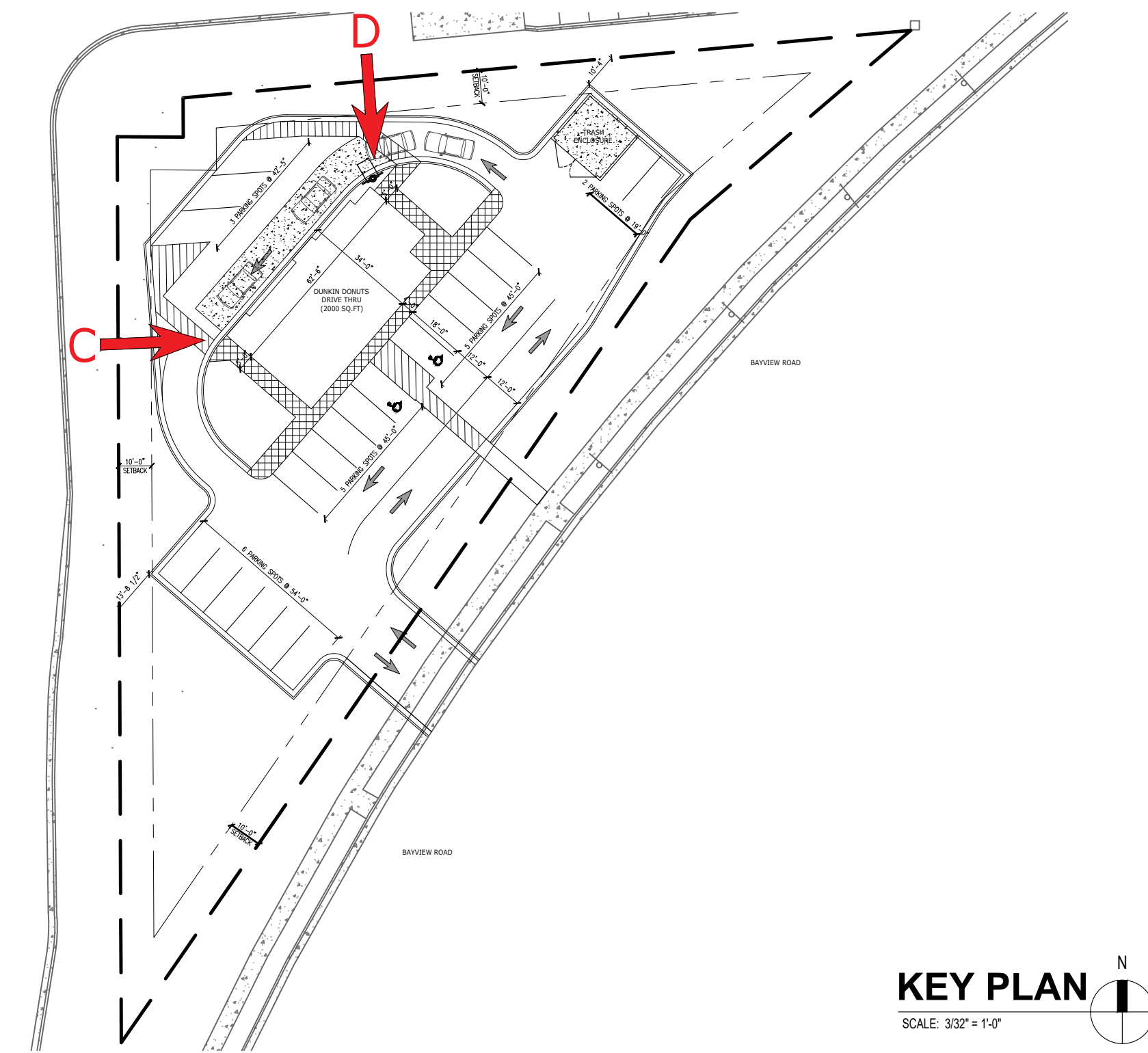




2 VIEW B
NTS



1 VIEW A
NTS



KEY PLAN
SCALE: 3/32" = 1'-0"



2 VIEW D
NTS



1 VIEW C
NTS

PROJECT _____ TYPE _____

SPECIFIER _____ MEMO _____

ORDERING CODE BREAKDOWN

MAIN FEATURES

- A die-cast, aluminum alloy housing with Polyester super durable powder coating for optimal thermal performance, weather resistance, gloss/color retention, and exceptional corrosion resistance
- 3,000 lumens at 20W to 16,000 lumens at 125W
- Delivering up to 164 lm/W
- Integral photocells, motions sensors, and Casambi wireless bluetooth integration
- 5 mounting options available; All mounting options allow for multiple fixture installations at 90°
- 120-277V with dim-to-off 0-10V dimming standard
- Multiple field-installed shielding options available



Extended Site Arm

EPA: 0.26 sq. ft.

WEIGHT: 11.19 lbs.



FIXTURE	LUMENS	BEAM SPREAD	CRI	CCT	VOLTAGE	CONTROLS	SURGE	PHOTOCELL RECEPTACLE	FINISH	MOUNTING	FIXTURE OPTIONS	ADAPTER OPTIONS	FIELD OPTIONS
GL1C	3H : 3,000 lm; 20W	2RM : Type II Roadway Medium	7 : 70 CRI	30 : 3000K	STD : 120-277V	10 : 0-10V	1PS : 10kV 5kA, 120-277V	00 : None	SBZ : Bronze (RAL8019)	SA : Site Arm	ZT1 : 0-10V Z Ambient Light Control	RP : Site Arm Round Pole Adapter	SOL28 HSS : House-side Shield
	4H : 4,000 lm; 30W	3RM : Type III Roadway Medium	8 : 80 CRI	40 : 4000K			2PS : *20kV 10kA, 120-277V	0Z : Z receptacle	SGY : Gray (RAL7038)	ES : Extended Site Arm	ZT3 : 0-10V Z IR + Ambient Light Control	SMCB : Wall Pack Surface Mount Conduit Box	SOL28 FSS : Front-side Shield
	5H : 5,000 lm; 40W	4WS : Type IV Wide Short		50 : 5000K				PB : Button-eye	SWH : White (RAL9003)	KM : 3" OD Knuckle	ZT4 : 0-10V Z Occupancy + IR + Ambient Light Control	ERP : Extended Site Arm Round Pole Adapter	SOL28 CSS : Cul-de-Sac Shield
	7H : 7,000 lm; 50W	5QS : Type V Square Short							SBK : Black (RAL9017)	HT : Horizontal Tenon	ZT5 : 0-10V Z Casambi Bluetooth Mesh Node		SOL28 SS : Scoop Shield
	8H : 8,000 lm; 60W	5QM : Type V Square Medium								WP : Wall Pack			
	9H : 9,000 lm; 70W												
	10H : 10,000 lm; 80W												
	11H : 11,000 lm; 90W												
	12H : 12,000 lm; 100W												
	13H : 13,000 lm; 110W												
	14H : 14,000 lm; 120W												

Notes: * Special offering, consult factory for lead time and availability.
Shields are flat-black, injection molded plastic resin, tool-less, clip-on discrete shield

Additional CRIs and/or CCTs available upon request
HSS not compatible with 4WS optics, instead use SS.

PROJECT

TYPE

ELECTRICAL

- 120-277V
- PF>0.9, THD<20%
- Parallel surge protection: enhanced 10kV standard, extreme 20kV optional (ANSI C136.2-2015)
- For series surge protection, consult factory
- Rated for operation -40°C to 40°C; For 50°C option, consult factory

OPTICS + PERFORMANCE

- Up to 164 lumens per watt
- 3,000- to 16,000-lumen packages (20-70W)
- 5 customized distributions available
 - Type II Roadway Medium (Coefficient of Utilization: 0.793)
 - Type III Roadway Medium (Coefficient of Utilization: 0.852)
 - Type IV Wide Short (Coefficient of Utilization: 0.840)
 - Type V Square Short
 - Type V Square Medium
- Multiple shielding options available

CONSTRUCTION

- Die-cast, aluminum alloy housing for optimal thermal performance and exceptional corrosion resistance

FINISH

- TGIC polyester super-durable powder coating with superior gloss, color retention and weather resistance
- Standard finishes provided at 3 mil nominal thickness, salt-spray-tested to 3,000 hours as per ASTM B117

CONTROLS

- Dim-to-off 0-10V dimming standard
- Integral photocells, motions sensors, and Casambi wireless bluetooth integration
- Zhaga Book 18 Receptacle option for next generation ambient light/motion sensing
- Button-eye photocell

MOUNTING

- All mounting options allow for multiple fixture installations at 90°
- Round pole adapter available for site arm as a field installed option
- Surface mount conduit box (SMBC) available for wall pack as a field installed option

LISTINGS

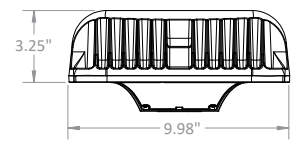
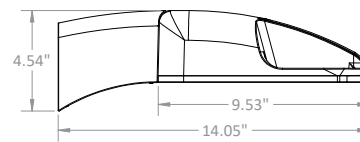
- IP66-rated optical and electrical chambers
- 3G Vibration-rated (ANSI C136.31)
- cULus Listed for wet locations
- IDA Dark Sky listed with ≤3000K and Site Arm or Horizontal Tenon
- Zhaga D4i listed

WARRANTY

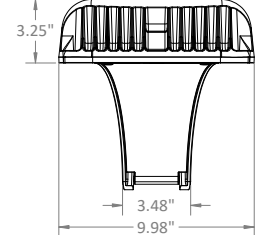
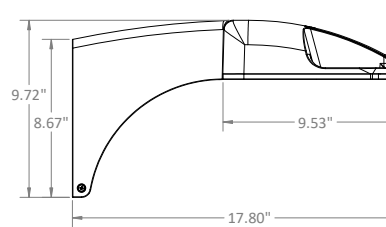
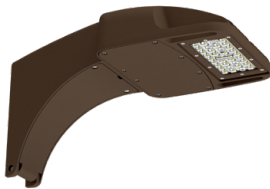
- 5-year warranty

Site Arm (SA)

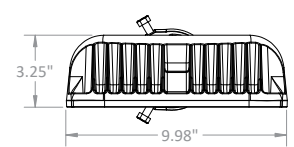
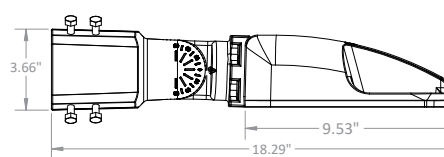
EPA (front)	EPA (side)	Weight
0.25 sq. ft.	0.28 sq. ft.	11.19 lbs.

**Extended Site Arm (ES)**

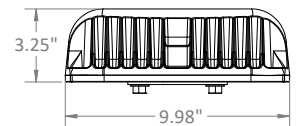
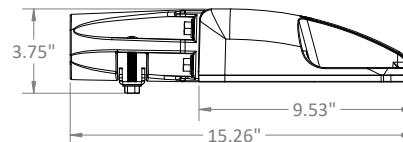
EPA (front)	EPA (side)	Weight
0.40 sq. ft.	0.46 sq. ft.	13.69 lbs.

**Knuckle (KM)**

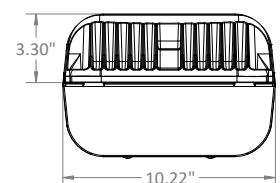
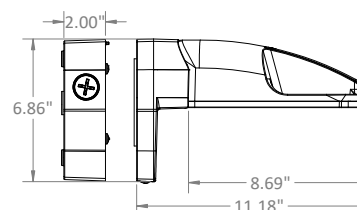
EPA (front)	EPA (side)	Weight
0.32 sq. ft.	0.37 sq. ft.	11.88 lbs.

**Horizontal Tenon (HT)**

EPA (front)	EPA (side)	Weight
0.22 sq. ft.	0.30 sq. ft.	11.88 lbs.

**Wall Pack (WP)
and (WP-SMBC)**

EPA (front)	EPA (side)	Weight
0.46 sq. ft.	0.23 sq. ft.	12.30 lbs.



LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Ambient Temperature		Lumen Multiplier
Celsius	Fahrenheit	
0°C	32°F	1.02
10°C	50°F	1.01
25°C	77°F	1.00
40°C	104°F	0.99
50°C	122°F	0.97

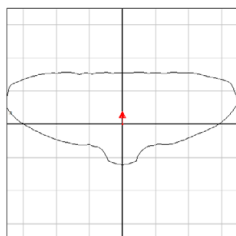
TM-21 LUMEN MAINTENANCE PROJECTION

Calculated by utilizing the LED manufacturer's LM80 test data in conjunction with third party verified in-situ LED drive current and LED temperature data. Use data below to determine light loss factors.

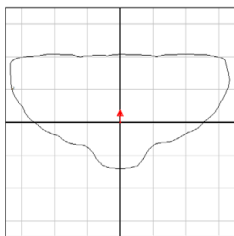
50,000 hrs	60,000 hrs	100,000 hrs
99.67%	99.49%	98.77%

PHOTOMETRIC DISTRIBUTION

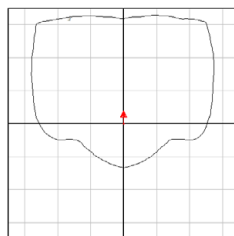
TYPE II ROADWAY MEDIUM (2RM)



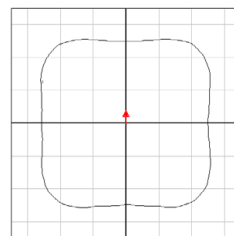
TYPE III ROADWAY MEDIUM (3RM)



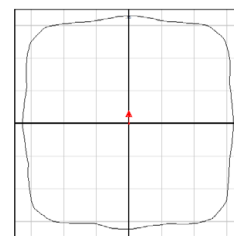
TYPE IV WIDE SHORT (4WS)



TYPE V SQUARE SHORT (5QS)



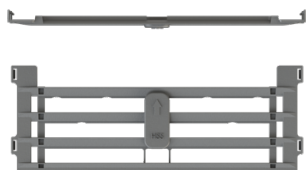
TYPE V SQUARE MEDIUM (5QM)



SHIELD ACCESSORY DETAILS

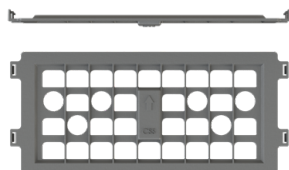
HOUSE SIDE SHIELD (HSS)

- Flat-black, injection molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light behind the fixture



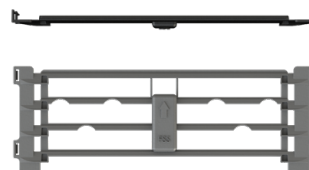
CUL-DE-SAC SHIELD (CSS)

- Flat-black, injection molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light to left and right of the fixture



FRONT SIDE SHIELD (FSS)

- Flat-black, injection molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light in front of the fixture.



SCOOP SHIELD (SS)

- Flat-black, injection-molded plastic resin
- Tool-less, clip-on discrete shield
- Blocks light behind the fixture (4WS only)



CONTROLS

0-10 V ZHAGA OPTIONS

- ZT1: Ambient Light Control
- ZT3: IR + Ambient Light Control
- ZT4: Occupancy + IR + Ambient Light Control
- ZT5: 0-10V Zhaga Casambi BLE + ALC



PROJECT

TYPE

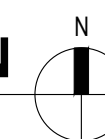
LED GRIDLITE
SITE LIGHT FIXTURE

Performance Package	Wattage Label	Drive Current	Color Temp. (CCT)	Input Power (Watts)	TYPE II ROADWAY MED (2RM) AT 70 CRI			TYPE III ROADWAY MED (3RM) AT 70 CRI			TYPE IV WIDE SHORT (4WS) AT 70 CRI			TYPE V SQUARE SHORT (5QS) AT 70 CRI			TYPE V SQUARE MED (5QM) AT 70 CRI		
					Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating	Lumens	Efficacy (lm/W)	BUG Rating
3H	20	250mA	5000K	21.5	3,529	164	1 0 1	3,516	164	1 0 1	3,348	156	1 0 1	3,513	163	2 0 2	3,209	149	2 0 2
			4000K		3,448	160	1 0 1	3,435	160	1 0 1	3,271	152	1 0 1	3,433	160	2 0 2	3,135	146	2 0 2
			3000K		3,300	153	1 0 1	3,288	153	1 0 1	3,131	146	1 0 1	3,285	153	2 0 2	3,000	140	2 0 2
4H	30	353mA	5000K	31.2	4,988	160	1 0 1	4,969	159	1 0 1	4,732	152	1 0 1	4,966	159	2 0 2	4,535	145	3 0 3
			4000K		4,873	156	1 0 1	4,855	156	1 0 1	4,623	148	1 0 1	4,851	155	3 0 3	4,430	142	2 0 2
			3000K		4,664	149	1 0 1	4,646	149	1 0 1	4,425	142	1 0 1	4,643	149	3 0 3	4,240	136	2 0 2
5H	40	463mA	5000K	41.3	6,384	155	1 0 1	6,359	154	1 0 1	6,056	147	1 0 2	6,355	154	3 0 3	5,804	141	3 0 3
			4000K		6,237	151	1 0 1	6,213	150	1 0 1	5,917	143	1 0 2	6,209	150	3 0 3	5,670	137	3 0 3
			3000K		5,969	145	1 0 1	5,947	144	1 0 1	5,663	137	1 0 2	5,943	144	3 0 3	5,427	131	3 0 3
7H	50	588mA	5000K	53.4	7,893	148	2 0 1	7,863	147	1 0 2	7,488	140	1 0 2	7,858	147	3 0 3	7,176	134	3 0 3
			4000K		7,711	144	2 0 1	7,682	144	1 0 2	7,316	137	1 0 2	7,677	144	3 0 3	7,011	131	3 0 3
			3000K		7,381	138	2 0 1	7,352	138	1 0 2	7,002	131	1 0 2	7,348	138	3 0 3	6,710	126	3 0 3
8H	60	735mA	5000K	64.74	9,717	150	2 0 2	9,680	150	1 0 2	9,218	142	1 0 2	9,674	149	3 0 3	8,834	136	3 0 3
			4000K		9,494	147	2 0 2	9,458	146	1 0 2	9,006	139	1 0 2	9,451	146	3 0 3	8,631	133	3 0 3
			3000K		9,086	140	2 0 2	9,052	140	1 0 2	8,620	133	1 0 2	9,046	140	3 0 3	8,261	128	3 0 3
9H	70	840mA	5000K	73.9	10,866	147	2 0 2	10,824	146	2 0 2	10,308	139	1 0 2	10,817	146	3 0 3	9,878	134	3 0 3
			4000K		10,616	144	2 0 2	10,575	143	2 0 2	10,071	136	1 0 2	10,568	143	3 0 3	9,651	131	3 0 3
			3000K		10,160	137	2 0 2	10,121	137	1 0 2	9,639	130	1 0 2	10,115	137	3 0 3	9,237	125	3 0 3
10H	80	945mA	5000K	83.45	11,991	144	2 0 2	11,945	143	2 0 2	11,374	136	2 0 2	11,937	143	4 0 4	10,900	131	3 0 3
			4000K		11,715	140	2 0 2	11,670	140	2 0 2	11,113	133	2 0 2	11,662	140	3 0 3	10,649	128	3 0 3
			3000K		11,212	134	2 0 2	11,169	134	2 0 2	10,636	127	2 0 2	11,162	134	3 0 3	10,192	122	3 0 3
11H	90	1071mA	5000K	94.75	13,225	140	2 0 2	13,174	139	2 0 2	12,545	132	2 0 2	13,165	139	4 0 4	12,021	127	4 0 4
			4000K		12,920	136	2 0 2	12,871	136	2 0 2	12,256	129	2 0 2	12,862	136	4 0 4	11,745	124	4 0 4
			3000K		12,366	131	2 0 2	12,319	130	2 0 2	11,730	124	2 0 2	12,310	130	4 0 4	11,241	119	3 0 3
12H	100	1176mA	5000K	104.6	14,239	136	2 0 2	14,185	136	2 0 2	13,507	129	2 0 2	14,175	136	4 0 4	12,944	124	4 0 4
			4000K		13,911	133	2 0 2	13,858	132	2 0 2	13,196	126	2 0 2	13,849	132	4 0 4	12,646	121	4 0 4
			3000K		13,315	127	2 0 2	13,264	127	2 0 2	12,630	121	2 0 2	13,255	127	4 0 4	12,103	116	4 0 4
13H	110	1281mA	5000K	114.4	15,134	132	3 0 2	15,077	132	2 0 2	14,356	125	2 0 3	15,066	132	4 0 4	13,758	120	4 0 4
			4000K		14,786	129	3 0 2	14,730	129	2 0 2	14,026	123	2 0 2	14,719	129	4 0 4	13,441	117	4 0 4
			3000K		14,152	124	2 0 2	14,098	123	2 0 2	13,424	117	2 0 2	14,088	123	4 0 4	12,864	112	4 0 4
14H	120	1386mA	5000K	124.6	16,051	129	3 0 2	15,990	128	2 0 2	15,226	122	2 0 3	15,979	128	4 0 4	14,591	117	4 0 4
			4000K		15,682	126	3 0 2	15,622	125	2 0 2	14,876	119	2 0 3	15,611	125	4 0 4	14,255	114	4 0 4
			3000K		15,009	120	3 0 2	14,952	120	2 0 2	14,237	114	2 0 3	14,941	120	4 0 4	13,644	110	4 0 4





1 SITE PLAN
SCALE: 1/16" = 1'-0"



SITE AREA	30,582 SQ.FT
PROPOSED BUILDING AREA	2000 SQ.FT
REQUIRED PARKING	30
PROPOSED PARKING	21

**PROPOSED CONCEPTUAL SITE PLAN
MUKWONAGO, WI**

DATE : 05.09.2024

KP & J Architects & Engineers, LLC
960 Rand Rd, Suite 220
Des Plaines, IL 60016
(224) 595 - 8202
ccebrero@kpenr.com

May 14, 2024

Department of City Planning
440 River Crest Ct.
Mukwonago, WI 53149
(262) 363-6420

Village of Mukwonago,

I hope this letter finds you well. I am writing on behalf of KP & J Architects & Engineers, an established architectural and engineering firm headquartered in Des Plaines, Illinois. Our client is proposing to build new Dunkin Donuts Drive Thru Quick Service Restaurant at Mukwonago, WI. As per the requirements of the planning submission, please see below information for the Plan of Operations.

a. Hours of operation;
4am – 9pm

b. Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time;
8 total employees. Max 3 during every shift.

c. Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate the impacts of these matters on neighboring properties;
No pollution or run off. Drive thru speaker board noise will be controlled electronically, therefore no disturbance to neighbors.

d. Descriptions of any materials stored outside and any activities, processing or other operations taking place outside of an enclosed building, if otherwise allowed;
n/a

e. Compliance with the Village's Stormwater Ordinance, erosion control standards, where applicable;
Will comply with the Village.

f. Sanitary facilities and private on-site waste transfer systems are in compliance with the requirements of the county agencies with jurisdiction;
n/a

g. Facilities for managing removal of trash, solid waste and recycling materials;
Will provide an enclosed trash bin.

h. Anticipated daily traffic, including, but not limited to, the types and weights of vehicles, night provisions, necessary intersection and road improvements or other measures proposed to accommodate increased traffic and/or the weight of the vehicles being utilized;

Normal size cars/vans/suv as our daily customers. Anticipated total daily cars 200, mostly drive thru. 1 truck delivery per week during the day operations.

i. List of hazardous, toxic or explosive materials to be stored on-site, if otherwise allowed, and any spill containment, safety or pollution measures which will be put in place for the use;
n/a

j. Outdoor lighting and measures taken to mitigate light pollution and impacts to neighboring properties.
No Lighting will be facing or disturbing neighbors.

Sincerely,
Christian Cebrero
Project Manager

KP & J ARCHITECTS & ENGINEERS, LLC

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

PC RESOLUTION NO. 2024-07

**A RESOLUTION FOR A SITE PLAN AND ARCHITECTURAL REVIEW FOR DUNKIN
DONUTS DRIVE-THROUGH, PARCEL MUKV 2014987**

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval of a new Dunkin Donuts Drive-Through Facility, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Kardo Rasha of Kard Group, LLC (Owner), and

WHEREAS, the use is a conditional use within the B-2 Community Business District – in which the subject property is located, and

WHEREAS, the plan of operation and plans have been reviewed and recommended by the Plan Commission.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for the new Dunkin Donuts Drive-Through facility to be constructed on Bay View Road, based upon the plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED the site plan and architectural review approval shall be subject to the following conditions:

1. Prior to any land disturbing activity, the applicant must submit a complete and final set of site construction plans to the Village and receive approval of said plans prior to issuance of any building permits. Plans shall include but are not limited to grading, utilities, utility calculations, erosion control, landscaping, lighting, building architecture, building materials and other plans as required. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction. Construction shall comply with any conditions of approval issued by staff.
2. A final erosion control plan shall be submitted for review and approval.
3. All required regulatory agency permits shall be received and provided to the Village prior to the start of construction.
4. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives. The applicant representative shall coordinate such meeting.
5. The applicant must obtain all required land disturbance permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.

6. Prior to any land-disturbing activity, the applicant must reimburse the Village for any outstanding charges and establish an escrow account with the Village as may be required.
7. The Applicant shall establish an escrow in the value of \$10,000 prior to the start of construction.
8. The applicant must obtain all required building permits within nine months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
9. All work related to this project must comply with all project plans approved by the Village.
10. The developer must comply with all requirements related to impact fees imposed by the Village.
11. The developer shall comply with all parts of the Municipal Code as it relates to this project.
12. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Building Inspectors are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
13. Trash enclosure shall be constructed per Village standards and plans submitted.
14. Refuse/Recycling Collection shall be contracted privately.
15. All lighting within the parking lot and building lighting shall be full cut off lighting and meet municipal standards. Building lighting shall not be direct light or the appearance of light towards adjoining properties. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments. A photometric lighting plan must be submitted and approved prior to construction.
16. Landscaping shall be installed per Village standards and approved plans.
17. The applicant shall comply with the requirements of the Village Utility Department pertaining to sewer and water services.
18. Any future modification to the site such as modification of parking, lighting, grading, signage, fences, etc. may require Site Plan and Architectural Review.

Passed and adopted by the Village of Mukwonago Plan Commission this 11th day of June, 2024.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Shay Zervas, Deputy Clerk-Treasurer