



**PLAN COMMISSION
MEETING**
Mukwonago Municipal Building / Board Room
440 River Crest Court, Mukwonago, WI 53149
February 10, 2026 at 6:30 PM

AGENDA

1. Call to Order

2. Roll Call

3. Comments from the Public

Please be advised, per Wisconsin Statute Sec. 19.84(2), information and comment will be received from the public by the Plan Commission. The Public Comment Session is granted to the public at the start of each Plan Commission meeting. The Public Comment Session shall last no longer than fifteen (15) minutes and individual presentations are limited to three (3) minutes per speaker. However, these time limits may be extended at the discretion of the Chief Presiding Officer. The Plan Commission may not respond to or have any discussion on information received during the public comment session unless it is placed upon the Agenda for a subsequent meeting. Public comments should be addressed to the Plan Commission as a body. Presentations shall not deal in personalities personal attacks on members of the Plan Commission, the applicant for any project or Village Employees. Comments shall not be used to engage others in a debate in this forum. All comments, questions and concerns should be presented in a respectful professional manner. Any questions to an individual member of the Plan Commission or Staff will be deemed out of order by the Presiding Officer.

4. Approval of Minutes

4.1 Approval of the December 9, 2025 Plan Commission Minutes as prepared and distributed

5. Public Hearings

All persons interested in making comments about any of the public hearing items will be heard. Formal petitions and written comments regarding any of the public hearing items may be submitted tonight. During the public hearing(s), if you wish to be heard, the Plan Commission asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking at the public hearing must sign the Public Hearing Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room.

5.1 Public Hearing regarding Proposed Project Plan and Boundaries for Tax Incremental District (TID) No. 7

6. New Buisness

6.1 Discussion/Action regarding **PC Resolution 2026-01** a resolution for a site plan and architectural review for a building addition to Campbell Construction,

located at 461 River Crest Court, Parcel # MUKV2009006

- 6.2 Discussion/Action regarding **PC Resolution 2026-02** a resolution recommending formally adopting Proposed Project Plan and Boundaries for Tax Incremental District (TID) No. 7
- 6.3 Discussion/Recommendation regarding **Resolution 2026-09** a resolution for a Certified Survey Map (CSM) review for the Mukwonago Community Library located at 511 Division St, Parcel #'s: MUKV1973183, MUKV1973184, MUKV1973186, MUKV1973187, MUKV1973188, MUKV1973189, MUKV1973189, MUKV1973191, and MUKV1973192
- 6.4 Discussion/Recommendation regarding **Resolution 2026-10** a resolution for a Certified Survey Map (CSM) review for the purpose of public Right-Of-Way dedication for the extension of East Wolf run at the existing eastern terminus in Parcel # MUKV2135997
- 6.5 Discussion/Recommendation regarding **Resolution 2026-11** a resolution for a Certified Survey Map (CSM) review for the creation of Marsh View Drive for public Right-Of-Way purposes across multiple parcels
- 6.6 Discussion/Recommendation regarding **Resolution 2026-12** a resolution for a Certified Survey Map (CSM) review for the Glen of Mukwonago for the creation of public Right-Of-Way across Parcel # MUKV1962989049
- 6.7 Discussion and approval of a new date for the August 11, 2026, Plan Commission meeting as it coincides with Election Day.
- 6.8 Status Report on Zoning Code

7. Adjournment

It is possible that a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Municipal Clerk's Office, (262) 363-6420.

MINUTES OF THE PLAN COMMISSION MEETING

Tuesday, December 9, 2025

Time: 6:30pm

Place: Mukwonago Municipal Building/Boar Room, 440 River Crest Court, Mukwonago, WI 53149

Call to Order

Meeting Called to order by Deputy Clerk-Treasurer Zerfas at 6:30pm

Roll Call

Commissioners present: Fred Winchowky, Village President
Eric Brill
Karl Kettner
John Meiners
Tim Rutenbeck
Jason Wamser

Also present: Diana Dykstra, Administrator
Peter Gesch, Village Planner
Shay Zerfas, Deputy Clerk/ Treasurer

Comments from the Public

No Public Comment
Closed 6:31pm

Approval of Minutes

Meiners/Rutenbeck motion to approve minutes from November 11, 2025, regular meeting. Unanimously carried.

Public Hearing

Comprehensive Plan 2035 Amendment for the future land use for the property located at S93 W30740 CTH NN from Government and Institutional to Medium Lot Single Family II, parcel MUKV 1959-988-010, applicant (Jon and Audrey Sinnett)
No Comment, Closed 6:33pm

Zoning Map Amendment to rezone the property located at S93W30740 Highway NN from P-1 Public and Semipublic District to R-1 Single Family Medium Lot Residential District, Parcel MUKV 1959-988-010, applicant (Jon and Audrey Sinnett).

No comment, Closed 6:34pm

Conditional Use Permit for a drive-through facility associated with the construction of a new restaurant building at 1090 N. Rochester Street, Culver's, Parcel MUKV 1963-999-049 applicant (Darlene Landon, property owner).

Letter on File opposing proposed project, Closed 6:35pm

New Business

Discussion and possible recommendation to Village Board to approve Ordinance No. 1038 to amend the "Village of Mukwonago Comprehensive Plan 2035" for property located at S93W30740 Hwy NN: Parcel: MUKV 1959-988-010

Planner Gesch provided an overview of the project and request to change the zoning to residential for single-family home. He explained that an agreement will need to be created establishing a timeframe for the new property owner to connect to municipal water. Sanitary sewer service is not currently available; however, the agreement should include a provision requiring connection to the sewer once it becomes available.

Meiners/Brill motioned approve **Ordinance No.1038** to amend the "Village of Mukwonago Comprehensive Plan 2035" for property located at S93W30740 Hwy NN: Parcel: MUKV 1959-988-010

Unanimously Carried.

Discussion and possible recommendation to Village Board to approve Ordinance No. 1037 to amend the The Village of Mukwonago Zoning Map for the property located at S93W30740 Hwy NN: Parcel: MUKV 1959-988-010

Planner Gesch explained that, now that the Comprehensive Plan amendment has been approved, the property is eligible for a zoning code change. He and the Building Inspector have reviewed the request and agree that the zoning should be changed to match the surrounding parcels.

Meiners/Kettner motioned approve **Ordinance No. 1037** to amend The Village of Mukwonago Zoning Map for the property located at S93W30740 Hwy NN: Parcel: MUKV 1959-988-0101

Unanimously Carried.

Discussion and possible recommendation to Village Board to approve Resolution 2025-53 for a Conditional Use and Prescribing Conditions for a site drive-thru facility (Culver's) on MUKV 1963-999-049

Planner Gesch provided an overview of the Conditional Use Permit (CUP), noting that it is required due to the proposed drive-through. He stated that he sees no issues with the proposed plan, as most, if not all, concerns have been addressed through multiple planning meetings. He also noted that Culver's currently has an existing building with a drive-through on the same property. Following staff review, discussion focused on existing traffic backups on Highway 83 and how the new drive-through design addresses these concerns. The proposed design is intended to prevent backups onto Highway 83, reduce congestion within the parking lot and still allow for emergency vehicle access. The site will maintain two driveway access points: one from Highway 83 and one from what is currently a private drive, which is planned to become an extension of Marshview Drive as a public roadway. Two driveway access points are required by state standards. A letter opposing the current location and access from the private drive is on file. The site has been designed in anticipation that the private drive will be converted to a public roadway. If this conversion does not occur, Culver's would be required to return for an amendment to the CUP, as this would constitute a significant change to the site plan.

Trustee Brill expressed concerns regarding changes in drive-through traffic patterns and potential impacts on surrounding residents, as well as the need for protective barriers around the outdoor seating area.

Planner Gesch stated that additional requirements could be added, including enhanced landscaping along and around the drive-through access and the installation of a protective barrier around the outdoor seating area.

Joe Mayer of Kimley-Horn, representing Culver's, stated that the applicant is willing to comply with the additional landscaping and protective barrier requirements.

Meiners/Kettner motioned recommend approval of **Resolution 2025-53** for a Conditional Use and Prescribing Conditions for a site drive-thru facility (Culver's) on MUKV 1963-999-049 with the additional landscaping around the drive through lane and a protective barrier around outdoor seating area.

Unanimously Carried.

Discussion and possible approval of PC Resolution 2025-22 for a Site Plan and Architectural Review for Culver's, Parcel MUKV1963-999-049

Planner Gesch provided an overview of the Site Plan and Architectural Review (SPAR) and noted that, following staff review, there are a few minor items that need to be addressed; however, none of these items would alter the overall site layout once resolved.

President Winchowky expressed concern regarding construction on a site with an existing operational business.

Planner Gesch explained that each site and project is unique and that additional details are being requested related to phasing plans, erosion control measures, traffic patterns, and site security. These items will be further addressed during the pre-construction phase, at which time any issues will be reviewed and resolved.

Chris McGuire of McCON Building Corp. for Culver's stated that the project involves construction of a new building and that care will be taken to remain respectful of the operations of the existing business. He noted that coordination is ongoing with Joe regarding the timing and placement of the safety fencing, and that any large equipment will be brought onto the site prior to Culver's opening at 10:00 a.m.

Commissioner Wamser inquired about the anticipated groundbreaking date, project completion timeline, and tentative schedule.

Mr. McGuire responded that the intent is to begin construction in the spring and completing the project in the fall.

Planner Gesch added that staff is coordinating scheduling with the Marshview project to ensure that all work can proceed in a safe and efficient manner.

Meiners/Wamser motioned recommend approval of **PC Resolution 2025-22** for Site Plan and Architectural Review for Culver's, Parcel No. MUKV1963-999-049, with the addition of landscaping around the drive-through to provide protection for neighboring residences, a protective barrier around the outdoor seating area, and any recommendation by staff to address comments on staff reports.

Unanimously Carried.

Discussion and possible recommendation to the Village Board to approve Resolution 2025-54 approving the Final Plat for Phase 3 Addition No. 2 of Champman Farms Residential Subdivision, Bielinski Homes, Applicant.

Planner Gesch provided an overview of the project and recommended approval, contingent upon the applicant addressing staff comments from the Village of Mukwonago and Waukesha County, as well as any comments that may be received from the Department of Administration.

Meiners/Rutenbeck motioned recommend approval of **Resolution 2025-54** approving the Final Plat for Phase 3 Addition No. 2 of Champman Farms Residential Subdivision, Bielinski Homes to include addressing comment by staff.

Unanimously Carried.

Discussion status report on the Zoning Code Update.

Administrator Dykstra provided a status report on the Zoning Code update and suggested reaching out to other staff for assistance with sections of the code related to their respective roles, such as Utilities, the Clerk’s Office, and others. He also explained and discussed the appendix and noted the need to establish a clear plan moving forward.

Building Inspector Rutenbeck provided an overview and offered suggestions regarding the Zoning Code updates, noting that the current draft is overly restrictive and that commentary is mixed in with the code language.

Commissioner Wamser suggested forming subcommittees to help move the process forward more efficiently.

Adjournment

Meeting adjourned at 7:21pm

Respectfully Submitted,
Shay Zervas
Deputy Clerk/Treasurer

DRAFT

**NOTICE OF PUBLIC HEARING AND JOINT REVIEW BOARD MEETING
REGARDING THE PROPOSED PROJECT PLAN
FOR TAX INCREMENTAL DISTRICT (TID) NUMBER 7
IN THE VILLAGE OF MUKWONAGO, WISCONSIN**

NOTICE IS HEREBY GIVEN, that the Village of Mukwonago will hold an organizational Joint Review Board (JRB) meeting on January 15, 2026, at **10:30 a.m.** at the Mukwonago Municipal Building/Board Room, located at 440 River Crest Court, Mukwonago, WI 53149. The purpose of this meeting is to organize a JRB to consider the proposed project plan for TID 7. The meeting is open to the public.

NOTICE IS HEREBY GIVEN, that the Planning Commission, of the Village of Mukwonago, will hold a public hearing on February 10, 2026, at 6:30 p.m., at the Mukwonago Municipal Building/Board Room, 440 River Crest Court, Mukwonago, WI regarding the proposed project plan for TID 7 in the village.

Village of Mukwonago TID 7 includes parcels generally located around either side of North Rochester Road and encompasses a portion of W. Veterans Way located within the village's limits.

TID 7 will be classified as a mixed-use district based on the identification and classification of the property proposed to be included within the district.

Proposed public project improvements may include but are not limited to site grading, sanitary sewer system improvements, storm water management system improvements, electric service, gas service, communications infrastructure, street improvements, lighting, sidewalks, multi-use trail improvements, professional and organizational services, administrative costs, and finance costs.

As part of the project plan, cash grants may be made by the Village of Mukwonago to owners, lessees, or developers of property within TID 7.

The proposed costs include projects within the TID boundary and within a one-half mile radius of the boundary of the district.

At the public hearing, all people will be afforded a reasonable opportunity to be heard concerning the proposed project plan. A copy of the TID 7 project plan is available for inspection and will be provided upon request. Arrangements for either inspection or receipt of a copy of the project plan may be made by contacting the village clerk, 440 River Crest Court, Mukwonago, WI; phone (262) 363-6420.

Dated the 29th day of December 2025

Lana Kropf
WCMC Clerk/Treasurer

Publication Date: December 30, 2025 and January 6, 2026.

**VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES**

PC RESOLUTION NO. 2026-01

**A RESOLUTION FOR A SITE PLAN AND ARCHITECTURAL REVIEW FOR A BUILDING ADDITION TO
CAMPBELL CONSTRUCTION, LOCATED AT 461 RIVER CREST COURT, PARCEL MUKV2009006**

WHEREAS, pursuant to Section 100-601 of the Zoning Code, an application for a site plan and architectural review has been filed for the approval of a Building Addition for Campbell Construction, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by Campbell Construction JC, Inc., and

WHEREAS, the project involves the construction of a 1,440 square foot building addition to the existing office building on-site, and

WHEREAS, the project complies with the requirements of the Village of Mukwonago zoning code.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Mukwonago, Wisconsin hereby approves the site plan and architectural review for the Campbell Construction Building Addition based upon the plans submitted to the Village.

NOW, THEREFORE, BE IT FURTHER RESOLVED the site plan and architectural review approval shall be subject to the following conditions:

1. If changes are made to the provided plans, prior to any land disturbing activity, the applicant must submit a complete and final set of site construction plans to the Village and receive approval of said plans prior to issuance of any building permits. Plans shall include but are not limited to grading, utilities, utility calculations, erosion control, landscaping, lighting, building architecture, building materials and other plans as required. All Village department heads must verify in writing whether they have approved the final plans within their purview. Any outstanding matters must be resolved to staff's satisfaction. Construction shall comply with any conditions of approval issued by staff.
2. All required regulatory agency permits shall be received and provided to the Village prior to the start of construction.
3. Prior to any land-disturbing activity, a pre-construction meeting must be held with the applicant's representatives and primary contractors, and Village department heads and representatives. The applicant representative shall coordinate such meeting.
4. The applicant must obtain all required building permits within six months of this date, and start construction within six months of the date of building permit issuance and continue in good faith to completion.
5. All work related to this project must comply with all project plans approved by the Village.

6. The developer must comply with all requirements related to impact fees imposed by the Village.
7. The developer shall comply with all parts of the Municipal Code as it relates to this project.
8. If the approved plans need to be revised to address any of the conditions of approval or to conform to Building and Fire Safety Codes, the Zoning Administrator and the Building Inspectors are authorized to approve minor modifications so long as the overall project elements remain unchanged. If they determine that the revision is substantial, the plans must be submitted to the Plan Commission for review and approval.
9. All lighting within the parking lot and building lighting shall be full cut off lighting and meet municipal standards. Building lighting shall not be direct light or the appearance of light towards adjoining properties. The Police Department or Zoning Administrator, after completion or any modification to the lighting in the future, may request adjustments.
10. Landscaping shall be installed per Village standards and approved plans, if applicable. Landscaping shall incorporate the replacement of trees removed beyond the allowable amount indicated in the Village Ordinance or the applicant shall provide funds to the Village Tree Fund to offset the required replacement costs.
11. Any future modification to the site such as modification of parking, lighting, grading, signage, fences, etc. may require Site Plan and Architectural Review.

Passed and adopted by the Village of Mukwonago Plan Commission this 10th day of February, 2026.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Shay Zervas, Deputy Clerk-Treasurer

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission
 FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.
 REPORT DATE: February 2, 2026
 MEETING DATE: February 10, 2026, 6:30 P.M.
 SUBJECT: Campbell Construction Building Addition - Site Plan & Architectural Review

BASIC INFORMATION	
Project:	Campbell Construction Building Addition
Applicant:	Campbell Construction
Consulting Engineer:	Endpoint Solutions
Consulting Architect:	Schroeder & Holt Architects
Request:	Site Plan & Architectural Review
Staff Recommendation:	Approve with Conditions

PARCEL DATA/CHARACTERISTICS	
Tax Key:	MUKV2009006
Acreage:	3.13 Acres
Current Use:	Contractor's Yard/Shop
Proposed Use:	Contractor's Yard/Shop
Reason for Request:	Building Addition
Land Use Classification:	Business
Zoning Classification:	B-3 – Community Business District

Project Summary & Overview

Campbell Construction is seeking to add onto their existing office building located at 461 River Crest Court. Campbell Construction asserts that the addition to the existing office building is to accommodate new offices for current staff to expand into.

The proposed expansion will extend to the north of the current office building structure in the current green space adjacent to their entrance driveway. The proposed addition is 1,440 square feet in size and will consist of 5 new offices and a furnace room.

The applicant has indicated that the new addition will match all existing siding and roofing colors and styles so that the addition blends nicely with the existing building.

Staff Review

Engineering:	No comments at this time.
Public Works	No comments at this time.
Utilities	No comments at this time.
Police	No comments at this time.
Fire:	No issues at this time. Fire suppression is not needed until occupancy reaches 99.
Building Inspection	No comments at this time.
Planning	All exterior finishes shall match existing finishes and materials as proposed by the applicant.

Recommended Action

Staff recommends the Planning Commission approve with conditions enumerated in the provided resolution.

Attachments

1. Application
2. Civil, Landscaping, Architectural Drawings
3. Color Renderings
4. Project Narrative

**RE: Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

To Whom It May Concern:

Campbell Construction has intentions to build an addition to the main office building located at 461 River Crest Court in Mukwonago, Wisconsin in 2026.

This new construction has the intentions to have all finishes from interior to exterior to match the existing building. With this additional space, there will be no change in its use and will be just new offices for current staff to expand into.

Please see plans and specifications provided for further details.

Any questions or concerns, my information is listed below.

Monica Martineau

Project Coordinator
Campbell Construction JC, INC



461 River Crest Ct.
Mukwonago, WI 53149
P: 262-436-4760

Process Details: PZ26-0001

Property Address: 461 RIVER CREST CT, Mukwonago, WI 53149 | Parcel: [MUKV2009006](#)

Property Owner: 461 BBG LLC

Summary Information

> 18 Process Step(s) Found > 0 Inspection(s) Found

This Site Plan was created from an application. [Click here to view the application.](#)

Amount Due	
Process - Site Plan	\$0.00
Total	

Process Information

Filed As	Site Plan	Application Date	01/02/2026
Process Name	Site Plan	Date Process Started	No Data to Display
Process Number	PZ26-0001	Date Completed	No Data to Display
Status	Preprocess - Ready	Last Status Change	01/12/2026
Scope Of Work	Addition to the Campbell Construction office of 1440 SF		
Conditions	No Data to Display		

Process Step Information

Step Number	Step Display Name	Status	Date Step Started	Date Step Completed	Date Step Due	
1	Review Application for Completeness	Not Started				View
2	Staff Review	Not Started				View
3	CIVIL DRAWINGS	Not Started				View
4	STORMWATER MGT PLAN	Not Started				View
5	LIGHTING PLAN	Not Started				View
6	LANDSCAPE PLAN	Not Started				View
7	EROSION CONTROL PLAN	Not Started				View
8	PRE CON ESCROW TO DEPUTY CLERK \$5K	Not Started				View
9	Post PC Agenda	Not Started				View
10	PC Review and Decision	Not Started				View
11	VILLAGE BOARD NOTIFICATION ONLY	Not Started				View
12	Owner and Applicant Notified	Not Started				View
13	LETTER OF CREDIT - IF INFRASTRUCTURE VILLAGE RESPONSIBILITY	Not Started				View
14	STORM WATER MAINT AGMT	Not Started				View
15	DEVELOPER AGMT	Not Started				View
16	PRE CON MTG	Not Started				View
17	POST APPROVAL CONSTR ESCROW \$10K	Not Started				View
		Not Started				View

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Document Summary

Document Title

Campbell Construction 2026 Addition

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	Campbell Construction 2026 Addition	Not Started	12/30/2025	View Document
1	Campbell Construction 2026 Addition	Not Started	12/30/2025	View Document

CIVIL DRAWINGS

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	CIVIL DRAWINGS	Not Started		No Attachment

EROSION CONTROL PLAN

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	EROSION CONTROL PLAN	Not Started		No Attachment

LANDSCAPE PLAN

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	LANDSCAPE PLAN	Not Started		No Attachment

LIGHTING PLAN

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	LIGHTING PLAN	Not Started		No Attachment

SITE PLAN

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	SITE PLAN	Not Started		No Attachment

STORMWATER MGT PLAN

[Expand All]

Version	Document Title	Review Status	Received	Completed
1	STORMWATER MGT PLAN	Not Started		No Attachment

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Document Title							[Expand All]
Version	Document Title	Review Status	Received	Completed			
1	SUBMITTAL ESCROW \$5K	Not Started			No Attachment		

Review Comments/Concerns

Show All [Collapse All]

Title	Type	Comment Type	Corrected	Date Found	Date Corrected	Process Step	Review
No records to display.							

Inspection Information

Inspection Type	Inspector	Status	Scheduled Date	Completed Date	Result
No records to display.					

Fees & Payments

Date	Action	Qty	Description	Billed	Paid
1/2/2026	Invoice Item	1,440.00	PZE Fees: Site Plan - Major (Invoice Number: 00007268)	\$503.80	
1/12/2026	Transaction		Transaction Number: 00008251		\$503.80

Applicant Information

Address CAMPBELLS CONSTRUCTION
461 RIVER CREST CT
MUKWONAGO, WI 53149

Phone *No Data to Display* **Fax** *No Data to Display*

Mobile *No Data to Display* **Other Phone** *No Data to Display*

Parcel/Land Details

Notes *No Data to Display*

Zoning/Rezoning and Usage

Dimensional Information

Notes *No Data to Display*

Utility Details

Setback Details


Miscellaneous Fields

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Parking Details

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Campbell Construction Office Addition

461 River Crest Court, Mukwonago, WI 53149



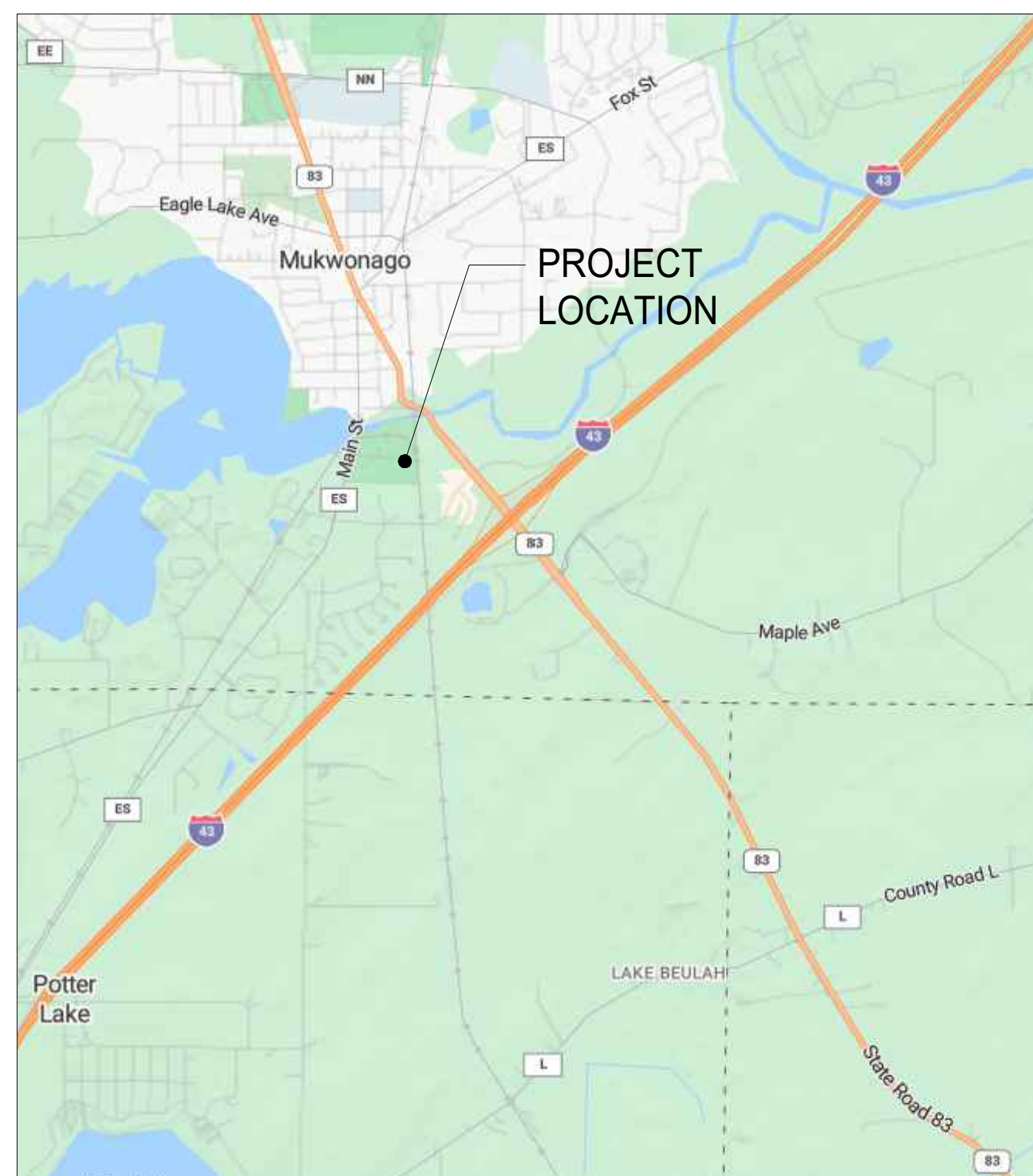
Bid Set



GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
3. REFER TO THE SOILS REPORT FOR SUBSURFACE CONDITIONS, BEARING CAPACITIES, ETC. NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS, SPECIFICATIONS OR SITE CONDITIONS.
4. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST BUILDING CODES, ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING AS REQUIRED BY THE CONTRACT DOCUMENTS OR ANY GOVERNMENT AGENCY.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
7. THE GENERAL CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS. COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOBSITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
8. THE GENERAL CONTRACTOR SHALL BRING ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S). BRING ALL UTILITY LINES (WATER, SEWER, GAS, STORM DRAIN, TELEPHONE AND ELECTRICAL, ETC.) INTO THE BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, OWNER & CIVIL ENGINEER.
10. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY GOVERNING AGENCIES.
11. THE REMOVAL OF ALL HAZARDOUS CONTAINING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY PHASE OF CONSTRUCTION, OR SUSPECTED TO BE HAZARDOUS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.

LOCATION MAP:



PROJECT TEAM:

OWNER:

Campbell Construction JC, Inc.
461 River Crest Court
Mukwonago, WI 53149
TEL: (262) 436-4760
email Jay@campbellconstructionbbg.com
ATTN: Jay Campbell

CIVIL:

Endpoint Solutions
6871 S. Lovers Lane
Franklin, WI 53132
TEL: (414) 427-1200
email jason@endpointcorporation.com
ATTN: Jason Heinonen

ARCHITECT:

Schroeder & Holt Architects, LLC
311 E. Chicago, Suite 310
Milwaukee, WI 53202
TEL: (414) 899-4418
email dbaum@sha-a2k.com
ATTN: David Baum

LANDSCAPE:

InSite Landscape Design
11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
TEL: (414) 476-1204
email mdavis@insitedesigninc.com
ATTN: Mike Davis

STRUCTURAL:

Paul Meier, Inc.
1585 Valley Ridge Drive
Brookfield, WI 53005
TEL: (414) 581-0003
email: pmeier8003@aol.com
ATTN: Paul Meier

GENERAL CONTRACTOR:

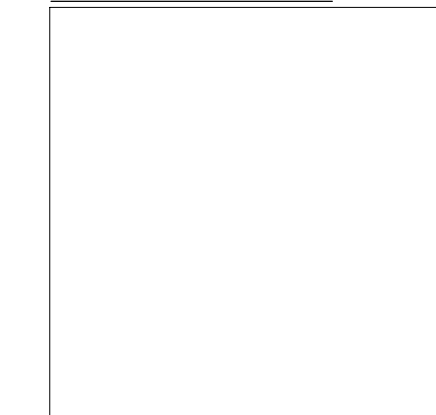
Campbell Construction JC, Inc.
461 River Crest Ct.
Mukwonago, WI 53149
TEL: (262) 436-4760
email Jay@campbellconstructionbbg.com
ATTN: Jay Campbell

BUILDING DATA

ADDITION TO EXISTING BUILDING

APPLICABLE BUILDING CODES:	<ul style="list-style-type: none"> • 2015 INTERNATIONAL BUILDING CODE • 2015 INTERNATIONAL EXISTING BUILDING CODE • 2015 INTERNATIONAL MECHANICAL CODE • 2015 INTERNATIONAL ENERGY CONSERVATION CODE • 2015 INTERNATIONAL FUEL GAS CODE • WISCONSIN PLUMBING CODE: CHAPTERS 380-387 • 2015 NFPA 101 LIFE SAFETY CODE • 2017 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS • 2009 ICC / ANSI A117.1 • MUKWONAGO MUNICIPAL CODE 																																				
CONSTRUCTION CLASSIFICATION:	VB - METAL FRAME UNPROTECTED CONSTRUCTION																																				
BUILDING CLASSIFICATION:	BUILDING ADDITION																																				
SPRINKLER INFORMATION :	NONE																																				
OCCUPANCIES:	NON-SEPARATED USES: B- BUSINESS AND S-2 STORAGE (B- BUSINESS USE IS MOST RESTRICTIVE)																																				
BUILDING AREA:	<table border="0"> <tr> <td>EXISTING BUSINESS AREA:</td> <td>4,697 SF</td> </tr> <tr> <td>EXISTING S-2 STORAGE AREA:</td> <td>4,500 SF</td> </tr> <tr> <td>NEW B-BUSINESS ADDITON:</td> <td>1,440 SF</td> </tr> <tr> <td>TOTAL AREA:</td> <td>10,637 SF</td> </tr> </table>	EXISTING BUSINESS AREA:	4,697 SF	EXISTING S-2 STORAGE AREA:	4,500 SF	NEW B-BUSINESS ADDITON:	1,440 SF	TOTAL AREA:	10,637 SF																												
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TOTAL AREA:	10,637 SF																																				
ALLOWABLE AREA:	<p>PER TABLE 506.2 B-BUSINESS OCCUPANCY - TYPE VB CONSTRUCTION, 1-STORY ABOVE GRADE PLANE: ALLOWABLE AREA = 9,000LF ALLOWABLE AREA W/ FRONTAGE INCREASE = 9,000 + (9,000 x .75) = 15,750 SF</p>																																				
OCCUPANCY LOADS:	<p>PER TABLE 1004.1.2 B- BUSINESS AREA: 6,137 SF/ 100 SF PER OCCUPANT = 62 OCCUPANTSS S-2 STORAGE AREA: 4,500 SF/ 500 SF PER OCCUPANT = 9 OCCUPANTS TOTAL = 71 OCCUPANTS</p>																																				
REQUIRED EXIT WIDTH:	<p>PER 1005.3.2 71 OCCUPANTS x .2 = 14.2" REQUIRED (102" PROVIDED)</p>																																				
COMMON PATH OF EGRESS TRAVEL:	<p>PER TABLE 1006.2.1 B-BUSINESS OCCUPANCY - 75 FEET PERMITTED</p>																																				
EXIT ACCESS TRAVEL DISTANCE:	<p>PER TABLE 1017.2: B- BUSINESS OCCUPANCY - 200' PERMITTED</p>																																				
CORRIDORS:	<p>PER TABLE 1020.1: B- BUSINESS CORRIDORS SERVING LESS THAN 30 OCCUPANTS NOT REQUIRED TO BE RATED</p>																																				
DEAD END CORRIDORS:	<p>PER IBC SECTION 1020.4: B-BUSINESS OCCUPANCY - 20 FEET ALLOWED</p>																																				
PLUMBING FIXTURES: PER TABLE 2902.1	<table border="0"> <tr> <td>TOTAL FIXTURES REQUIRED:</td> <td></td> <td></td> </tr> <tr> <td>MALE:</td> <td>WATER CLOSETS & URINALS</td> <td>1.25</td> </tr> <tr> <td></td> <td>LAVATORIES</td> <td>.77</td> </tr> <tr> <td>FEMALE:</td> <td>WATER CLOSETS</td> <td>1.25</td> </tr> <tr> <td></td> <td>LAVATORIES</td> <td>.77</td> </tr> <tr> <td>TOTAL FIXTURES PROVIDED:</td> <td></td> <td></td> </tr> <tr> <td>MALE:</td> <td>WATER CLOSETS & URINALS</td> <td>3</td> </tr> <tr> <td></td> <td>LAVATORIES</td> <td>1</td> </tr> <tr> <td>FEMALE:</td> <td>WATER CLOSETS</td> <td>1</td> </tr> <tr> <td></td> <td>LAVATORIES</td> <td>1</td> </tr> <tr> <td>UNISEX:</td> <td>WATER CLOSETS</td> <td>1</td> </tr> <tr> <td></td> <td>LAVATORIES</td> <td>1</td> </tr> </table>	TOTAL FIXTURES REQUIRED:			MALE:	WATER CLOSETS & URINALS	1.25		LAVATORIES	.77	FEMALE:	WATER CLOSETS	1.25		LAVATORIES	.77	TOTAL FIXTURES PROVIDED:			MALE:	WATER CLOSETS & URINALS	3		LAVATORIES	1	FEMALE:	WATER CLOSETS	1		LAVATORIES	1	UNISEX:	WATER CLOSETS	1		LAVATORIES	1
TOTAL FIXTURES REQUIRED:																																					
MALE:	WATER CLOSETS & URINALS	1.25																																			
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UNISEX:	WATER CLOSETS	1																																			
	LAVATORIES	1																																			

ARCHITECTURAL



SHEET INDEX:

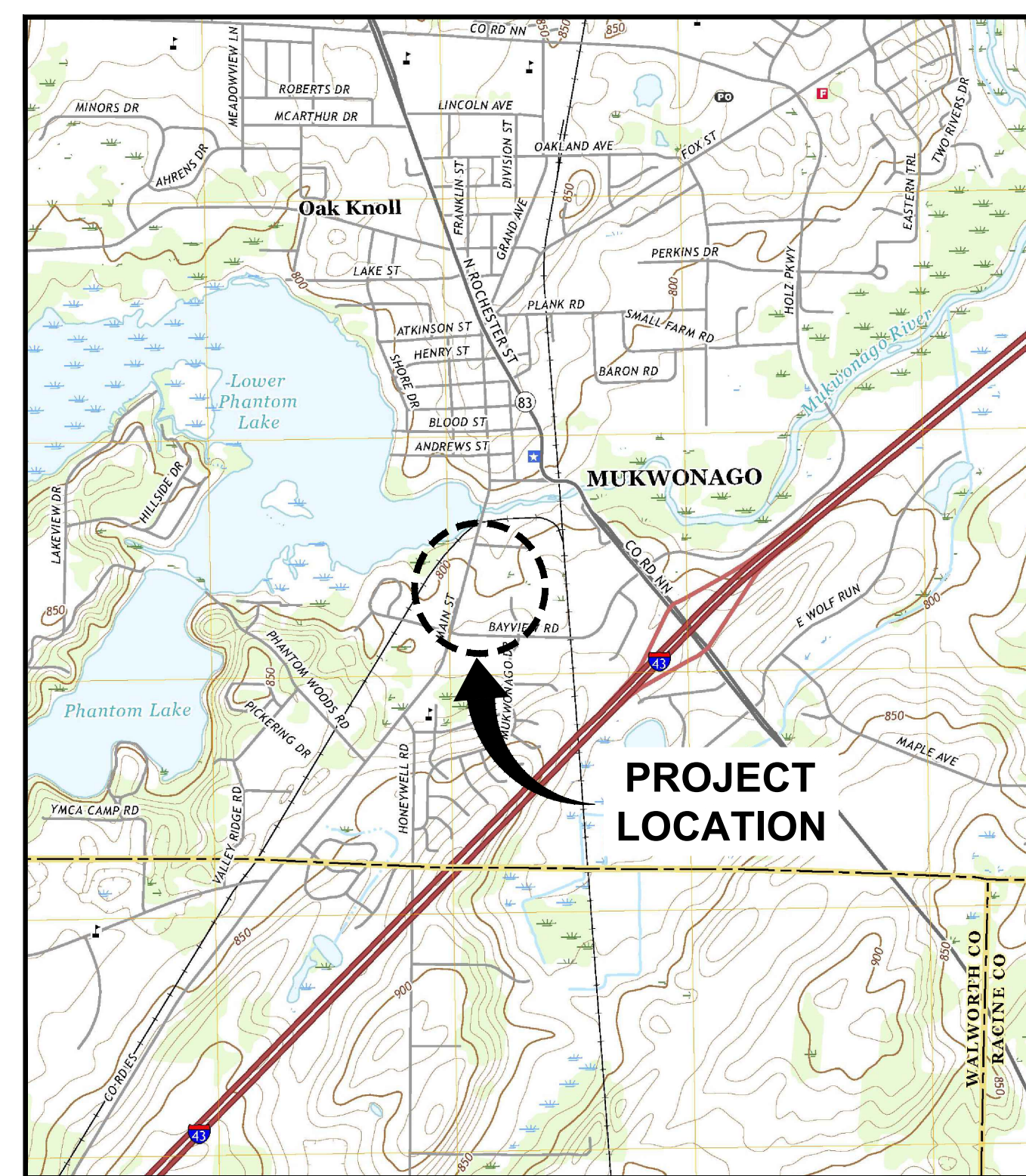
T.1	TITLE SHEET
C0	CIVIL COVER SHEET
C1	PRECONSTRUCTION CONDITIONS
C2	DEMOLITION PLAN
C3	PROPOSED SITE PLAN
C4	PROPOSED GRADING PLAN
C5	GENERAL CONSTRUCTION NOTES
LSP1.0	PROPOSED LANDSCAPE GENERAL NOTES AND LANDSCAPE TABLE
LSP1.1	PROPOSED LANDSCAPE PLAN
LSP1.2	PROPOSED LANDSCAPE PLANTING DETAILS
D1.1	DEMOLITION PLAN
A1.1	FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
A2.2	ENLARGED ELEVATIONS
A4.1	SECTIONS AND DETAILS
A8.1	SCHEDULES & DETAILS
1 OF 2	GENERAL NOTES, FOOTING & FOUNDATION PLAN, AND FLOORPLAN WITH HEADERS
2 OF 2	WALL DETAILS/ SECTIONS, ROOF FRAMING PLAN & WALL BRACING PLAN

CAMPBELL CONSTRUCTION - OFFICE EXPANSION

MUKWONAGO, WISCONSIN

CALL OR CLICK 3 WORKING DAYS BEFORE YOU DIG

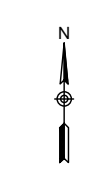
Help Us...
Help You...
Protect
Your Facilities!



LOCATION MAP



PROJECT LOCATION



DATE ISSUED
APRIL 18, 2025

**461 RIVER CREST COURT
MUKWONAGO, WISCONSIN 53149**

Endpoint Solutions

CONTACTS

SITE ADDRESS/OWNER:
CAMPBELL CONSTRUCTION
461 RIVER CREST CT.
MUKWONAGO, WISCONSIN 53149
CONTACT: JAY CAMPBELL
PHONE: (262) 436-7460
EMAIL: JAY@CAMPBELLCONSTRUCTIONBBG.COM

ENGINEER/AGENT:
ENDPOINT SOLUTIONS CORP.
6871 S. LOVERS LANE
FRANKLIN, WI 53132
CONTACT: JASON HEINONEN, P.E.
PHONE: 414-858-1920
EMAIL: JASON@ENDPOINTCORPORATION.COM

DRAWING SHEET INDEX

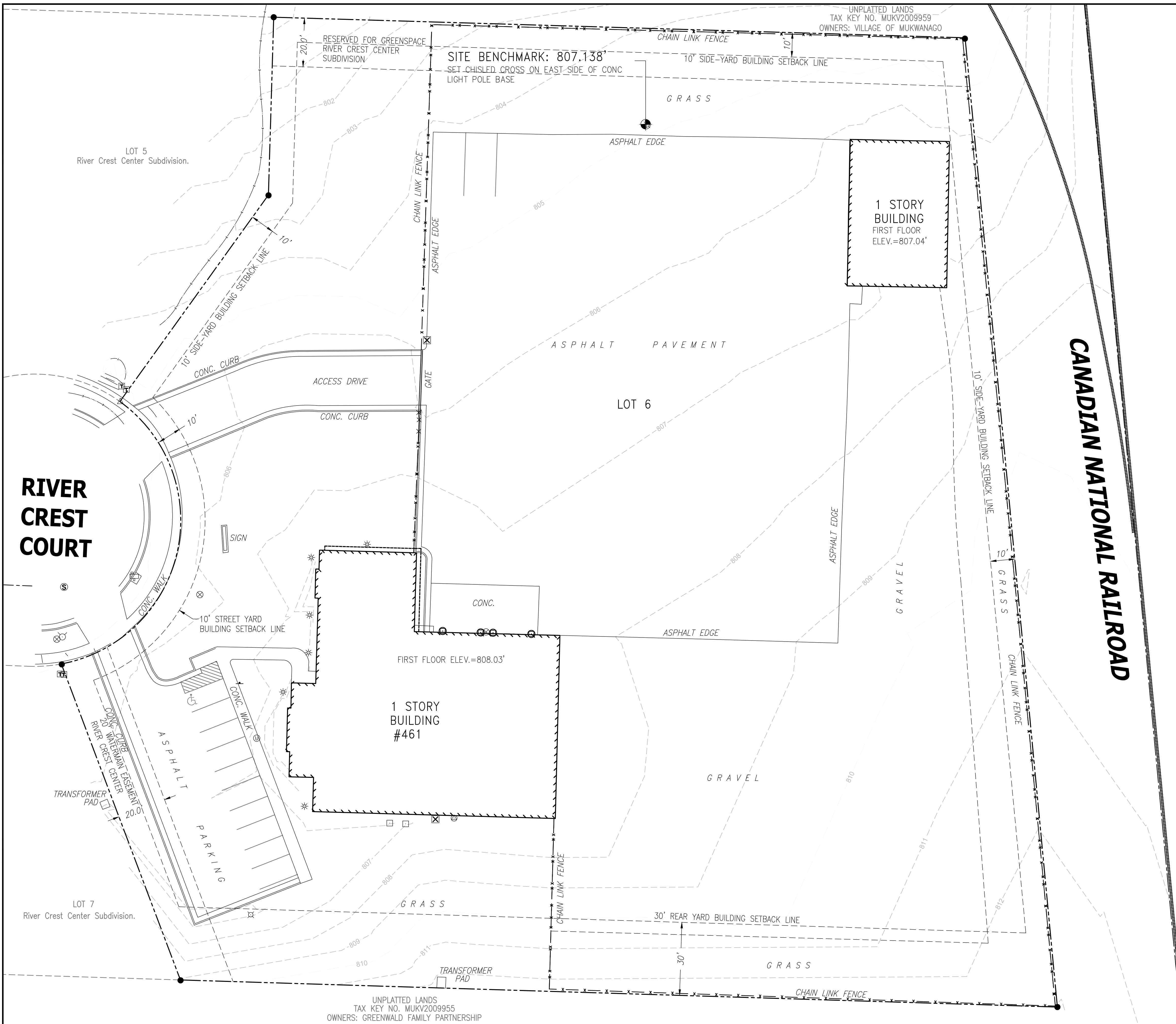
- CS COVER SHEET
- C1 PRE-CONSTRUCTION CONDITIONS
- C2 DEMOLITION PLAN
- C3 PROPOSED SITE PLAN
- C4 PROPOSED GRADING PLAN
- C5 GENERAL CONSTRUCTION NOTES

REVISION LOG

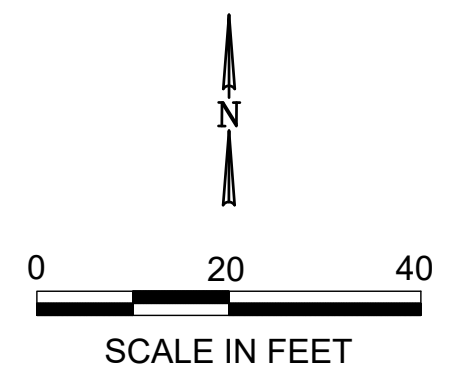
REVISION	ISSUE DATE	REVISED SHEETS	ISSUED FOR

C0

P:\Campbell Const - 5600009 - Campbell Office Expansion\CAD\ SHT_CS_560-009-001 Cover Sheet Campbell Office Expansion.dwg



---	PROPERTY LINE
- - -	ADJACENT PARCELS
- - -	EASEMENTS / SETBACK LINE
	BUILDING
	PAVEMENT/CONCRETE/EDGE OF GRASS
---	PAVEMENT MARKING
---	GRAVEL
- x -	FENCE
---	UNDERGROUND COMMUNICATIONS/CONDUIT
---	UNDERGROUND ELECTRIC LINE
---	GAS LINE
---	MAJOR CONTOUR, (5' INTERVAL)
---	MINOR CONTOUR, (1' INTERVAL)
+	SIGN
+	BOLALRD
+	MAILBOX
+	LIGHT POLE
+	HYDRANT
+	WATER VALVE
+	AC UNIT
+	ELECTRIC BOX/PEDESTAL, TRANSFORMER, METER
+	GAS METER
+	COMMUNICATIONS PEDESTAL/BOX
+	SANITARY MANHOLE
+	ELECTRIC MANHOLE
+	BENCHMARK/MONUMENT



LEGAL DESCRIPTION

LOT 6 OF RIVER CREST CENTER SUBDIVISION, BEING PART OF THE NW 1/4 AND NE 1/4 OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 18 EASE, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

BASEMAP SURVEY PERFORMED BY CHAPUT LAND SURVEYS DATED JANUARY 24, 2022.

EXISTING GRADE CONTOURS CREATED FROM CHAPUT SURVEY POINT FILES AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

REV.	DATE
7	
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Endpoint Solutions

6871 S. LOVERS LANE
FRANKLIN, WI 53132
PHONE: (414) 427-1200

CAMPBELL CONSTRUCTION OFFICE EXPANSION

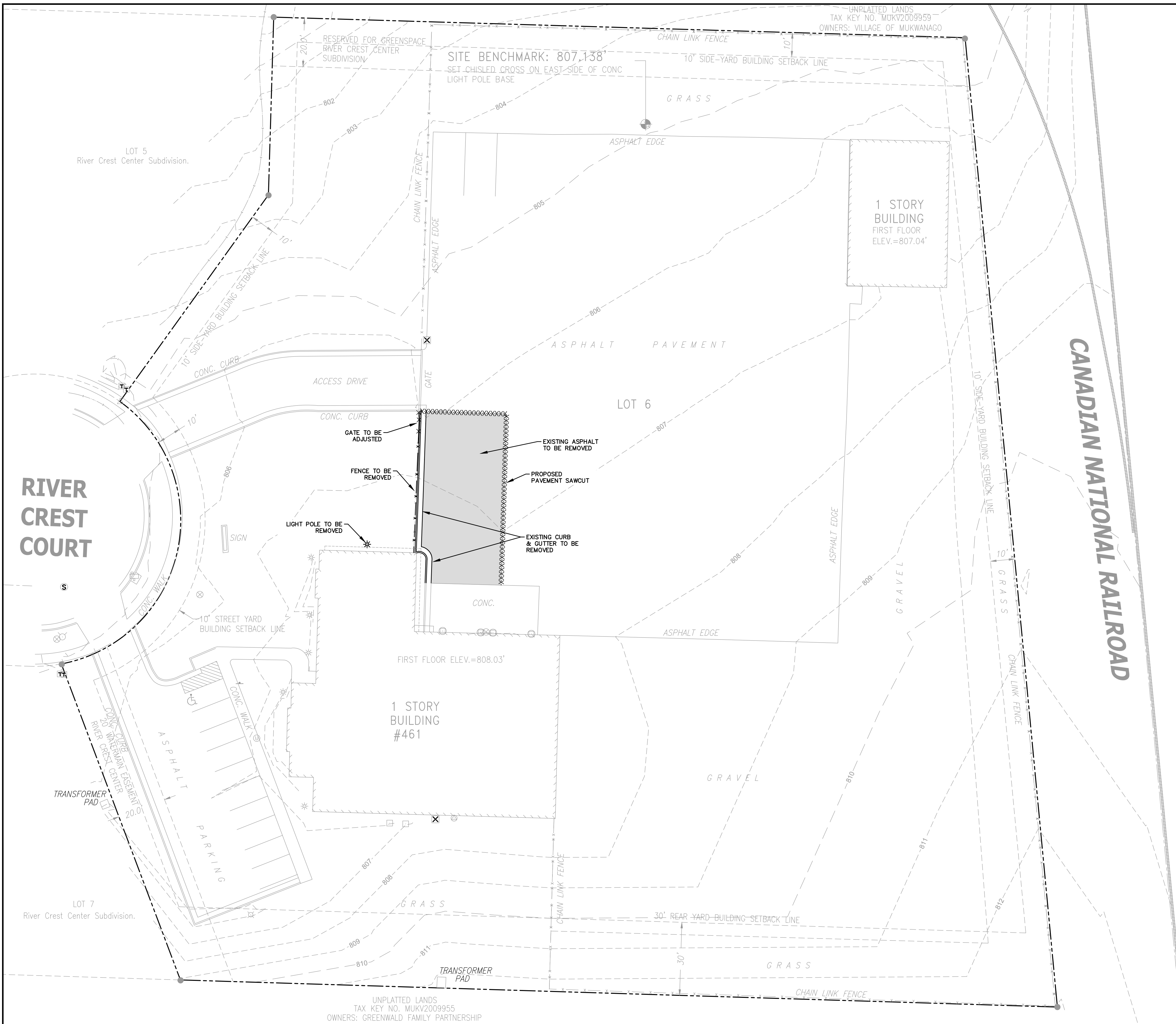
PRE CONSTRUCTION CONDITIONS

461 RIVER CREST COURT
MUKWONAGO, WISCONSIN

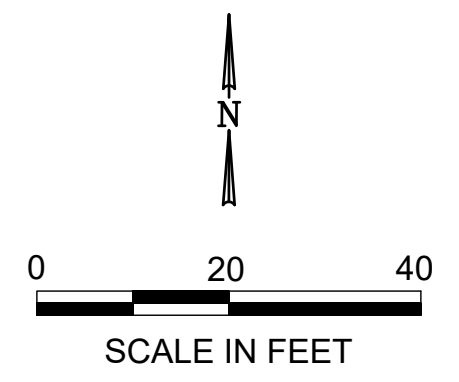
DRAWN BY: JAH/NWD DATE: 04/18/2025
CHECKED BY: JAH
APPROVED BY: JAH

PROJECT NO.
560-009-001

SHEET NO.
C1



---	PROPERTY LINE
- - -	ADJACENT PARCELS
- . - . -	EASEMENTS / SETBACK LINE
	BUILDING
====	PAVEMENT/CONCRETE/EDGE OF GRASS
----	PAVEMENT MARKING
- - - -	GRAVEL
- - - -	GRASS
- x -	FENCE
- - - x - - -	UNDERGROUND COMMUNICATIONS/CONDUIT
- - - x - - -	UNDERGROUND ELECTRIC LINE
- - - x - - -	GAS LINE
- - - - -	MAJOR CONTOUR, (5' INTERVAL)
- - - - -	MINOR CONTOUR, (1' INTERVAL)
+	SIGN
+	BOLALRD
+	MAILBOX
+	LIGHT POLE
+	HYDRANT
+	WATER VALVE
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+	SANITARY MANHOLE
+	ELECTRIC MANHOLE
+	BENCHMARK/MONUMENT



LEGAL DESCRIPTION

LOT 6 OF RIVER CREST CENTER SUBDIVISION, BEING PART OF THE NW 1/4 AND NE 1/4 OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

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Endpoint Solutions

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FRANKLIN, WI 53132
PHONE: (414) 427-1200

CAMPBELL CONSTRUCTION OFFICE EXPANSION

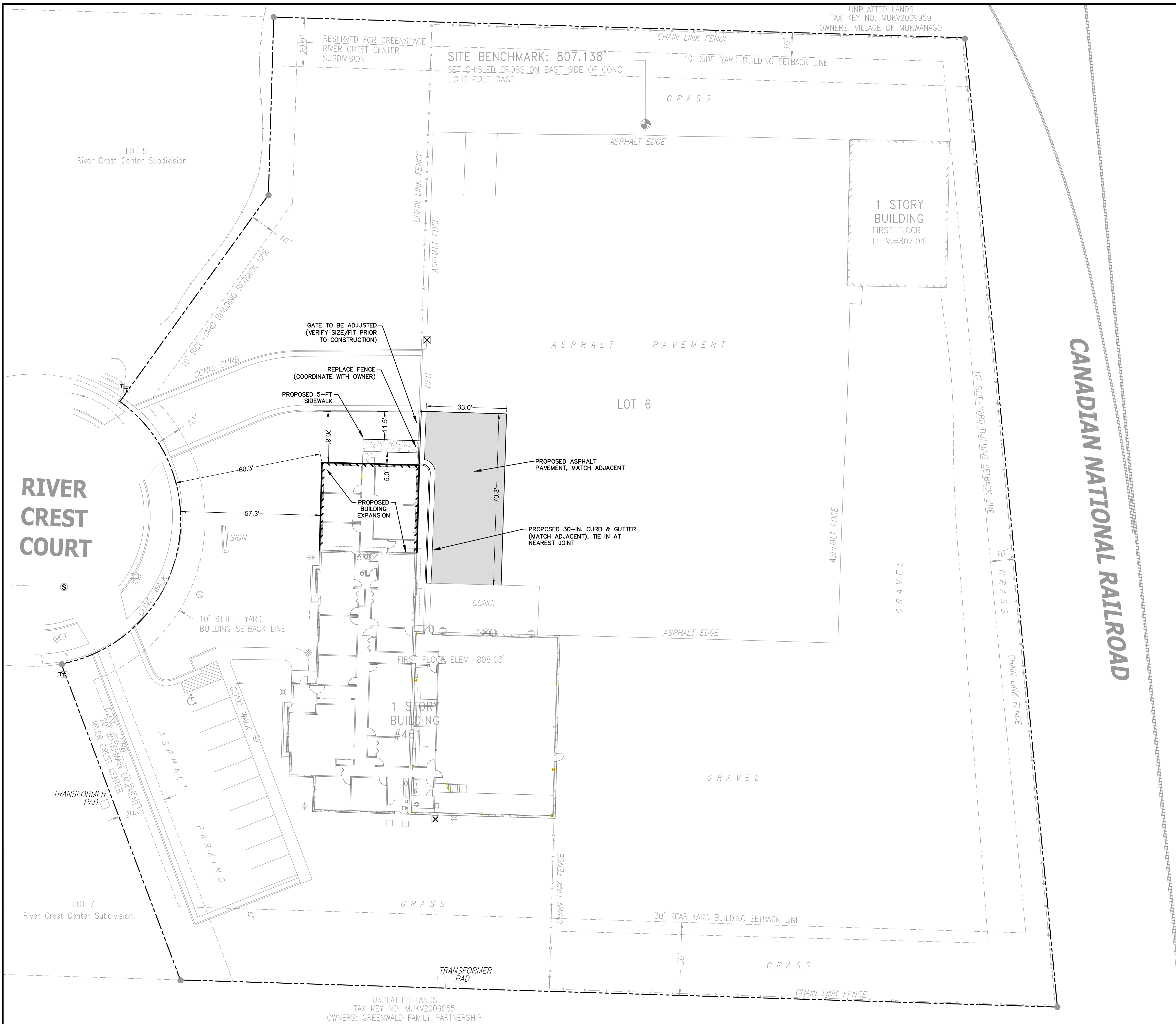
DEMOLITION PLAN

461 RIVER CREST COURT
MUKWONAGO, WISCONSIN

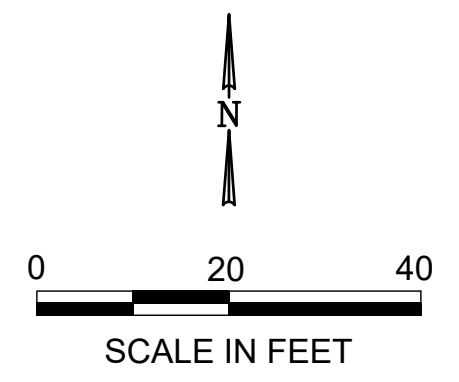
DRAWN BY: JAH/NWD DATE:
CHECKED BY: JAH 04/18/2025
APPROVED BY: JAH

PROJECT NO.
560-009-001

SHEET NO.
C2



---	PROPERTY LINE
- - -	ADJACENT PARCELS
- - -	EASEMENTS / SETBACK LINE
	BUILDING
	PAVEMENT/CONCRETE/EDGE OF GRASS
---	PAVEMENT MARKING
---	GRAVEL
- x -	FENCE
---	UNDERGROUND COMMUNICATIONS/CONDUIT
---	UNDERGROUND ELECTRIC LINE
---	GAS LINE
---	MAJOR CONTOUR, (5' INTERVAL)
---	MINOR CONTOUR, (1' INTERVAL)
+	SIGN
+	BOLALRD
+	MAILBOX
+	LIGHT POLE
+	HYDRANT
+	WATER VALVE
+	AC UNIT
+	ELECTRIC BOX/PEDESTAL, TRANSFORMER, METER
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+	SANITARY MANHOLE
+	ELECTRIC MANHOLE
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LEGAL DESCRIPTION

LOT 6 OF RIVER CREST CENTER SUBDIVISION, BEING PART OF THE NW 1/4 AND NE 1/4 OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 18 EASE, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

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Endpoint Solutions

6871 S. LOVERS LANE
FRANKLIN, WI 53132
PHONE: (414) 427-1200

CAMPBELL CONSTRUCTION OFFICE EXPANSION

PROPOSED SITE PLAN

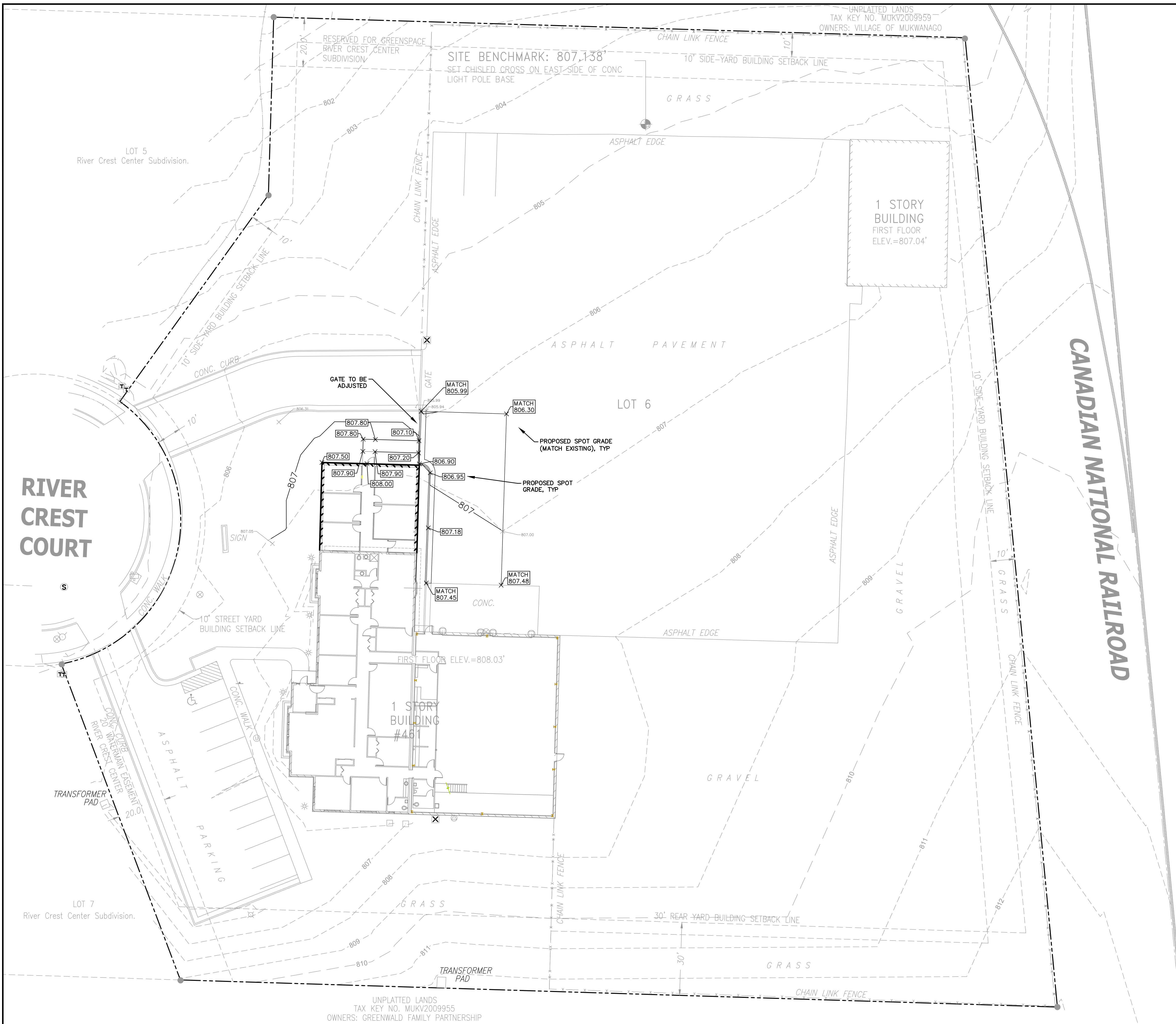
461 RIVER CREST COURT
MUKWONAGO, WISCONSIN

DRAWN BY: JAH/NWD DATE:
CHECKED BY: JAH 04/18/2025
APPROVED BY: JAH

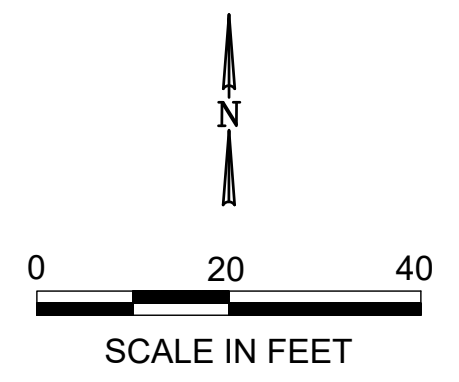
PROJECT NO.
560-009-001

SHEET NO.
C3

UNPLATTED LANDS
TAX KEY NO. MUKV2009955
OWNERS: GREENWALD FAMILY PARTNERSHIP



---	PROPERTY LINE
---	ADJACENT PARCELS
---	EASEMENTS / SETBACK LINE
	BUILDING
---	PAVEMENT/CONCRETE/EDGE OF GRASS
---	PAVEMENT MARKING
---	GRAVEL
---	FENCE
---	UNDERGROUND COMMUNICATIONS/CONDUIT
---	UNDERGROUND ELECTRIC LINE
---	GAS LINE
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---	MINOR CONTOUR, (1' INTERVAL)
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+	SANITARY MANHOLE
+	ELECTRIC MANHOLE
+	BENCHMARK/MONUMENT



LEGAL DESCRIPTION

LOT 6 OF RIVER CREST CENTER SUBDIVISION, BEING PART OF THE NW 1/4 AND NE 1/4 OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 18 EASE, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

BASEMAP SURVEY PERFORMED BY CHAPUT LAND SURVEYS DATED JANUARY 24, 2022.

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Endpoint Solutions

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FRANKLIN, WI 53132
PHONE: (414) 427-1200

CAMPBELL CONSTRUCTION OFFICE EXPANSION

PROPOSED GRADING PLAN

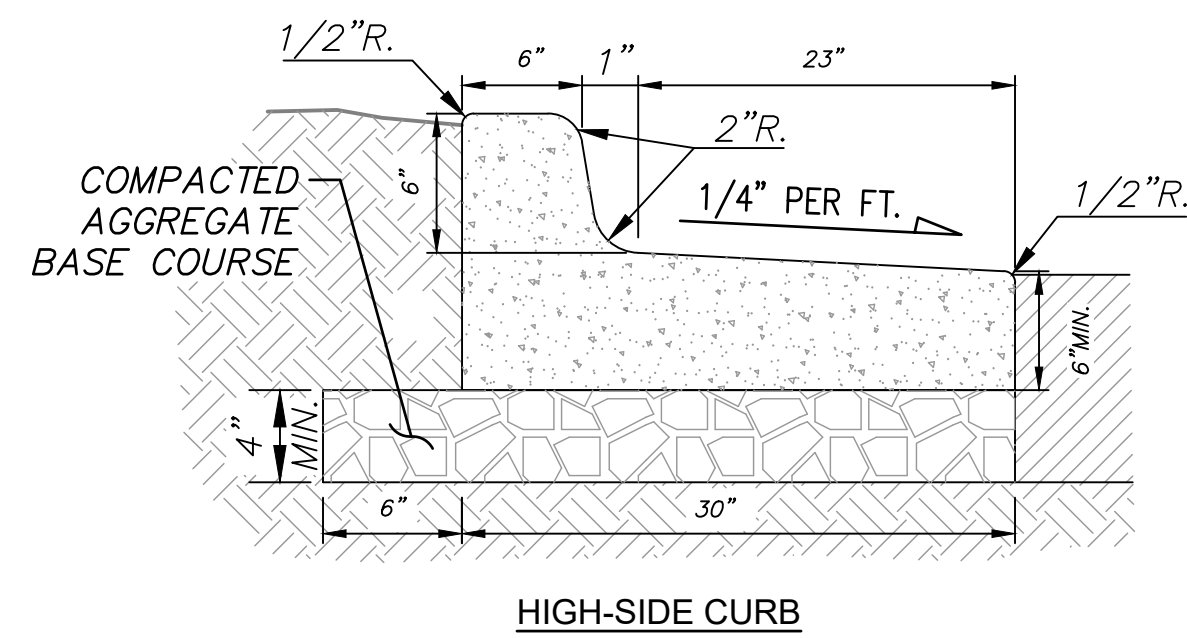
461 RIVER CREST COURT
MUKWONAGO, WISCONSIN

DRAWN BY: JAH/NWD DATE:
CHECKED BY: JAH 04/18/2025
APPROVED BY: JAH

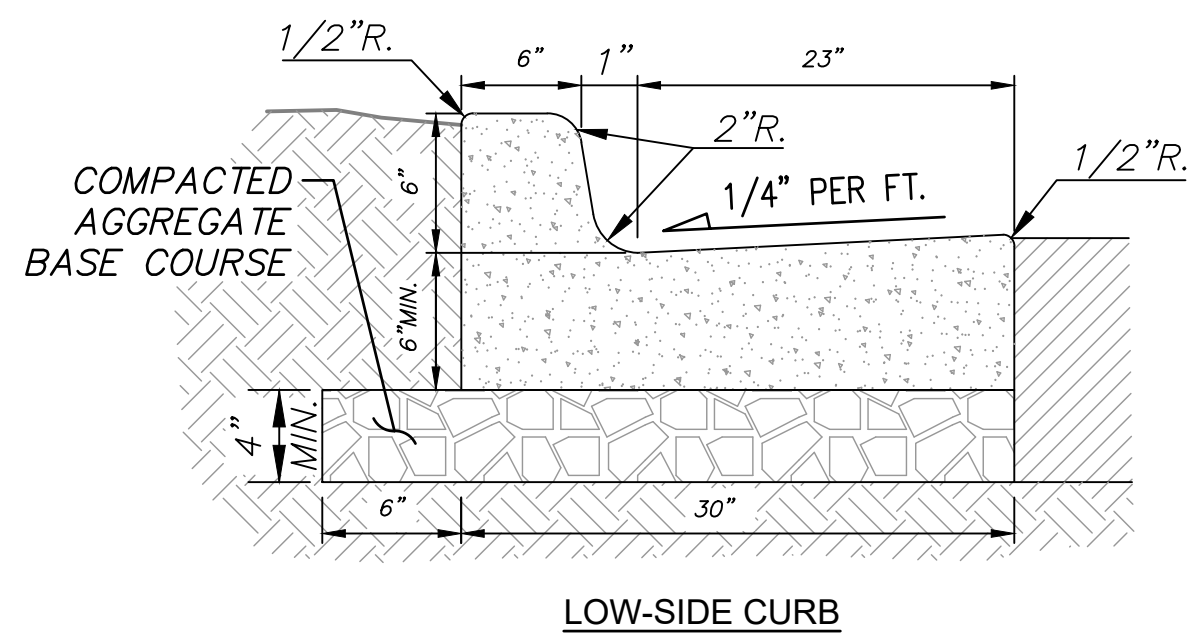
PROJECT NO.
560-009-001

SHEET NO.
C4

UNPLATTED LANDS
TAX KEY NO. MUKV2009955
OWNERS: GREENWALD FAMILY PARTNERSHIP

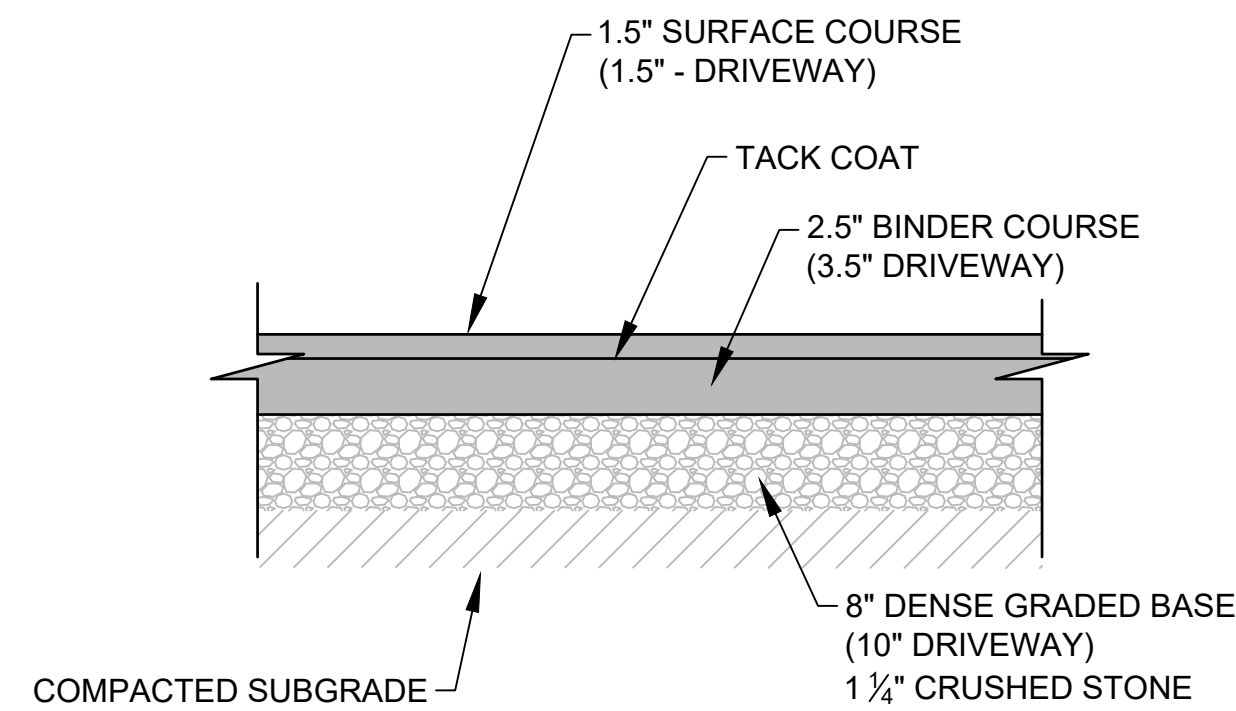


HIGH-SIDE CURB



LOW-SIDE CURB

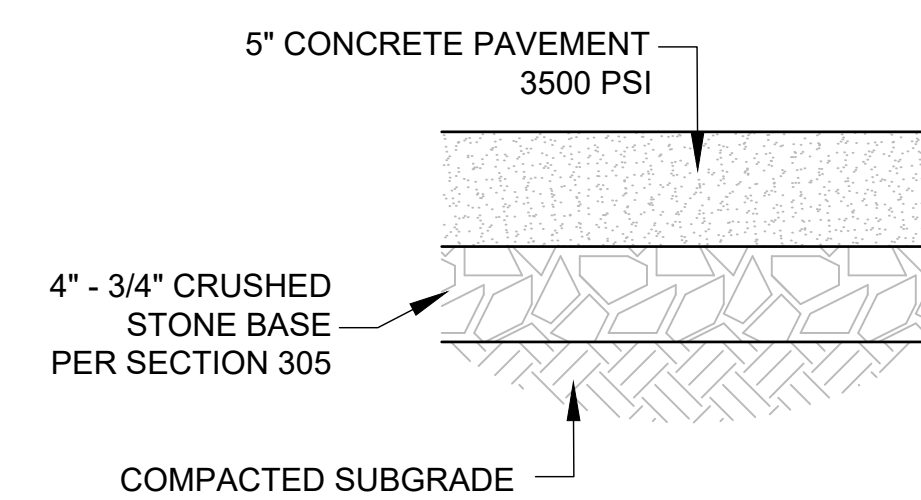
30" CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE



NOTES:

- PAVEMENT TO BE INSTALLED PER GEOTECHNICAL REPORT OR OWNER RECOMMENDATIONS.

TYPICAL ASPHALT PAVEMENT
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NOT TO SCALE

GENERAL GRADING NOTES

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED AS PART OF THIS PROJECT. CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL PROVISIONS OF LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS THE SITE SPECIFIC SWPPP (IF APPLICABLE). ALL LAND DISTURBING ACTIVITIES MAY BE SUBJECT TO INSPECTION BY LOCAL AUTHORITIES AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
- CONTRACTOR SHALL MINIMIZE CLEARING AND DISTURBANCE TO THE ENVIRONMENT TO THE EXTENT POSSIBLE. CONTRACTOR RESPONSIBLE FOR RESTORATION OF ALL DISTURBED AREAS.
- RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DISPOSED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE SITE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION WASTE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS STABILIZED.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- TEMPORARY EROSION CONTROL MATTING SHALL BE PLACED ON ALL SLOPES THAT ARE STEEPER THAN 4:1.
- ALL PROPOSED CONTOURS REPRESENT FINAL FINISHED GRADE ELEVATIONS.

GENERAL NOTES

- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR QUANTITIES AND ESTIMATE OF WORK REQUIRED AND SHALL STATE SUCH QUANTITIES IN THEIR BID.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT.
- SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SOIL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT THEIR WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION. ANY PROPERTY (PRIVATE OR PUBLIC) WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED TO ORIGINAL CONDITIONS BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE TO REQUEST FIELD STAKING OF EXISTING UTILITIES AND NOTIFY THE UTILITIES OF THE PROJECT COMPONENTS.
- CONTRACTOR SHALL ENSURE ALL MUD AND DEBRIS IS NOT DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE AGENCY HAVING JURISDICTION ON THE ROADWAYS.
- SUBMITTALS:
 - SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION:
 - IS DIFFERENT FROM THAT SPECIFIED OR
 - IS PART OF THE WORK THAT WILL BE DEDICATED AS A PUBLIC UTILITY OR ROADWAY AT THE END OF THE PROJECT OR
 - IF REQUIRED BY THE MUNICIPAL ENGINEER.
 - FOR UTILITY OR ROAD WORK THAT WILL BE DEDICATED TO A MUNICIPALITY, CONTRACTOR MUST MAKE SUBMITTALS TO THE MUNICIPALITY AS WELL AS ENGINEER.

PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS, AND THE GEOTECHNICAL REPORT.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT AND SECTION 602 FOR CONCRETE SIDEWALKS.
- RESTORATION OF PUBLIC SIDEWALK SHALL BE JOINT TO JOINT. RESTORATION OF CURB AND GUTTER SHALL BE JOINT TO JOINT.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:

PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
ADA SYMBOLS: BLUE OR PER LOCAL CODE
EXTERIOR SIDEWALK CURBED, LIGHTPOLE BASES, AND GUARD POSTS: YELLOW

REV.	DATE
7	
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1	

Endpoint Solutions

6871 S. LOVERS LANE
FRANKLIN, WI 53132
PHONE: (414) 427-1200

CAMPBELL CONSTRUCTION OFFICE EXPANSION

GENERAL CONSTRUCTION NOTES

461 RIVER CREST COURT
MUKWONAGO, WISCONSIN

DRAWN BY: JAH/NWD DATE:
CHECKED BY: JAH 04/18/2025
APPROVED BY: JAH

PROJECT NO.
560-009-001

SHEET NO.

C5

SITE INFORMATION

USDA PLANT HARDINESS ZONE	5b (-15 to -10 Degrees F)
LOT ZONING	
LOT AREA	136,249 SQ. FT. (3.13 Acres)
SITE BUILDING AREA (existing)	9,195 SQ. FT.
SITE BUILDING AREA (ADDITION)	1,440 SQ. FT.
TOTAL IMPERVIOUS	
TOTAL GREENSPACE	
SITE LANDSCAPE PERCENTAGE	
TOTAL PARKING STALLS	10 STALLS

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS, BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

DESIGN COMPLIANCE:

THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE VILLAGE OF MUKWONAGO LANDSCAPE REQUIREMENTS SET FOR IN SECTION§ 100-913 General design requirements. § 100-152 B-2 general business district.
 (I)General development requirements.
 (J)Landscaping. Landscaping plans are subject to plan commission review and approval subject to the following minimum standards. Any alteration to that plan shall be subject to further plan commission review and approval.
 (A)The minimum number of trees on a site shall be calculated based on the street frontage; one tree is required for each 20 feet. For lots with 100 feet or less of road frontage; a minimum of five trees shall be planted or retained. A minimum of two trees are to be planted or retained in each front yard and each street side yard.
 TOTAL LINAL FEET OF STREET FRONTAGE = 462'
 TOTAL NUMBER OF TREES REQUIRED = 23 TREES

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE VILLAGE OF MUKWONAGO. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE VILLAGE OF MUKWONAGO.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNERS REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNERS REPRESENTATIVE. ALSO REVIEW OWNERS "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE CAMPBELL CONSTRUCTION PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED CAMPBELL CONSTRUCTION PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN), AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNERS REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TRACKER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
 20% KENTUCKY BLUE GRASS
 15% NEWPORT KENTUCKY BLUE GRASS
 15% SR 2100 Kentucky Bluegrass
 25% Creeping Red Fescue
 15% Replicator Perennial Ryegrass
 10% Fiesta 4 Perennial Ryegrass
 APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRWINGS SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
 MAINTENANCE NOTE:
 MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
 - NECESSARY IRRIGATION (IF REQUIRED)
 - INTEGRATED PEST MANAGEMENT,
 - PROPER FERTILIZATION
 - TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
 - REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
 - WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECIEVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECIEVE AN APPLICATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- MAINTENANCE: THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM RUBBLE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	GibPS		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2'-Cal - B&B	1, 8
-	Extg		Existing to Remain	Existing to Remain	Existing	3

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	JuscM		Juniperus scopulorum 'Medora'	Medora Juniper	3' - 4' - B&B	5
-	Extg		Existing to Remain	Existing to Remain	Existing	3

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	EuafB		Euonymus alatus 'NCEA1'	Fireball Seedless Burning Bush	2' - 3' - B&B	6
6	HymaTS		Hydrangea macrophylla 'PillHM-4'	Endless Summer Twist -n- Shout Hydrangea	18" - 24" - Cont	6
6	PhopLD		Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	18" - Cont	6
4	RoCh		Rosa x 'Chewizard'	Oso Easy En Fuego Rose	18" - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	TameDS		Taxus x media 'Densformis Select'	Select Dense Spreading Yew	18" - 24" - B&B	6
1	ThoaAN		Thuja orientalis 'Aurea Nana'	Dwarf Golden Arborvitae	24" - 30" - B&B	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
9	PaviHR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	7
9	PaviN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	7

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
11	HeSPD		Hemerocallis 'Siloam Peony Display'	Rainbow Rhythm 'Siloam Peony Display' Daylily	4 1/2' pot	6
12	HeSC		Hemerocallis x 'Strawbery Candy'	Strawberry Candy Daylily	4 1/2' pot	6

- Comments
- Straight central leader, full & even crown. Prune only after planting.
 - Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 - Evenly shaped upright tree/shrub with full branching to the ground.
 - Full, well rooted plant, evenly shaped.
 - Full, well rooted plant.
 - Mole only
 - Tree-form, Single Stem Specimen



Landscape Consulting
& Master Planning Design Services

11525 W. North Avenue, Suite 1B
 Wauwatosa, WI 53226
 Tel (414) 476-1204
 www.insitedesigninc.com
 mdavis@insitedesigninc.com

Project:

CAMPBELL
CONSTRUCTION
-Office Expansion

461 River Crest Court
 Mukwonago, WI 53149

Issuance and Revisions:

Date	Number	Description
07/20/25		Client Review Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN
 GENERAL NOTES,
 AND PLANT MATERIAL TABLE

Date of Drawing: 07/20/25

Scale: NTS

Drawn By: MCD

Job Number: L25-015

Sheet Number:

LSP1.0

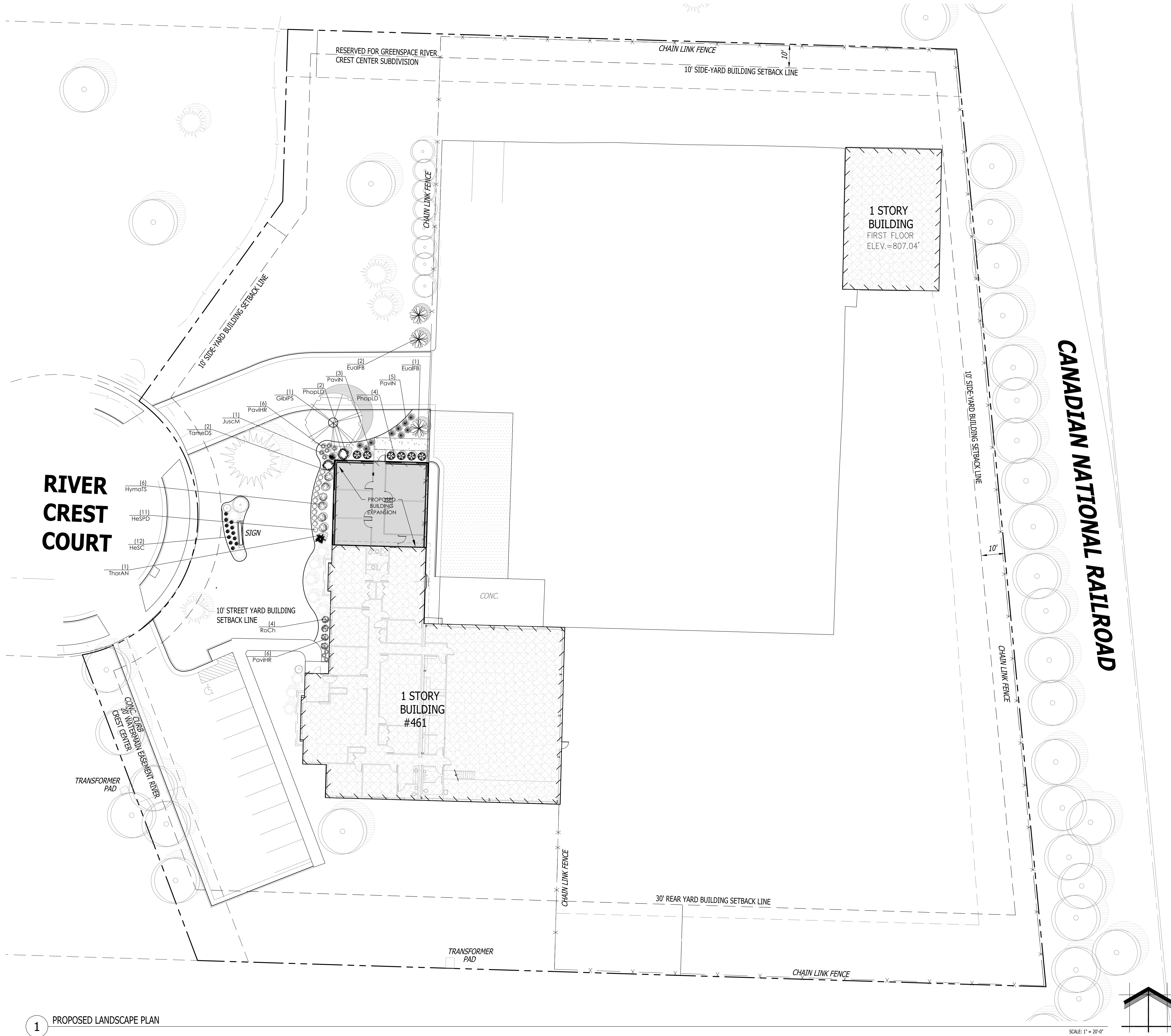
TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.	TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK www.DiggersHotline.com (800) 242-9311 OR
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**Know what's below.
Call 811 before you dig.**

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Project:

**CAMPBELL
 CONSTRUCTION**
 -Office Expansion

461 River Crest Court
 Mukwonago, WI 53149

Issuance and Revisions:

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Sheet Title:

PROPOSED LANDSCAPE PLAN

Date of Drawing: 07/20/25

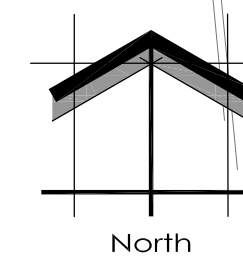
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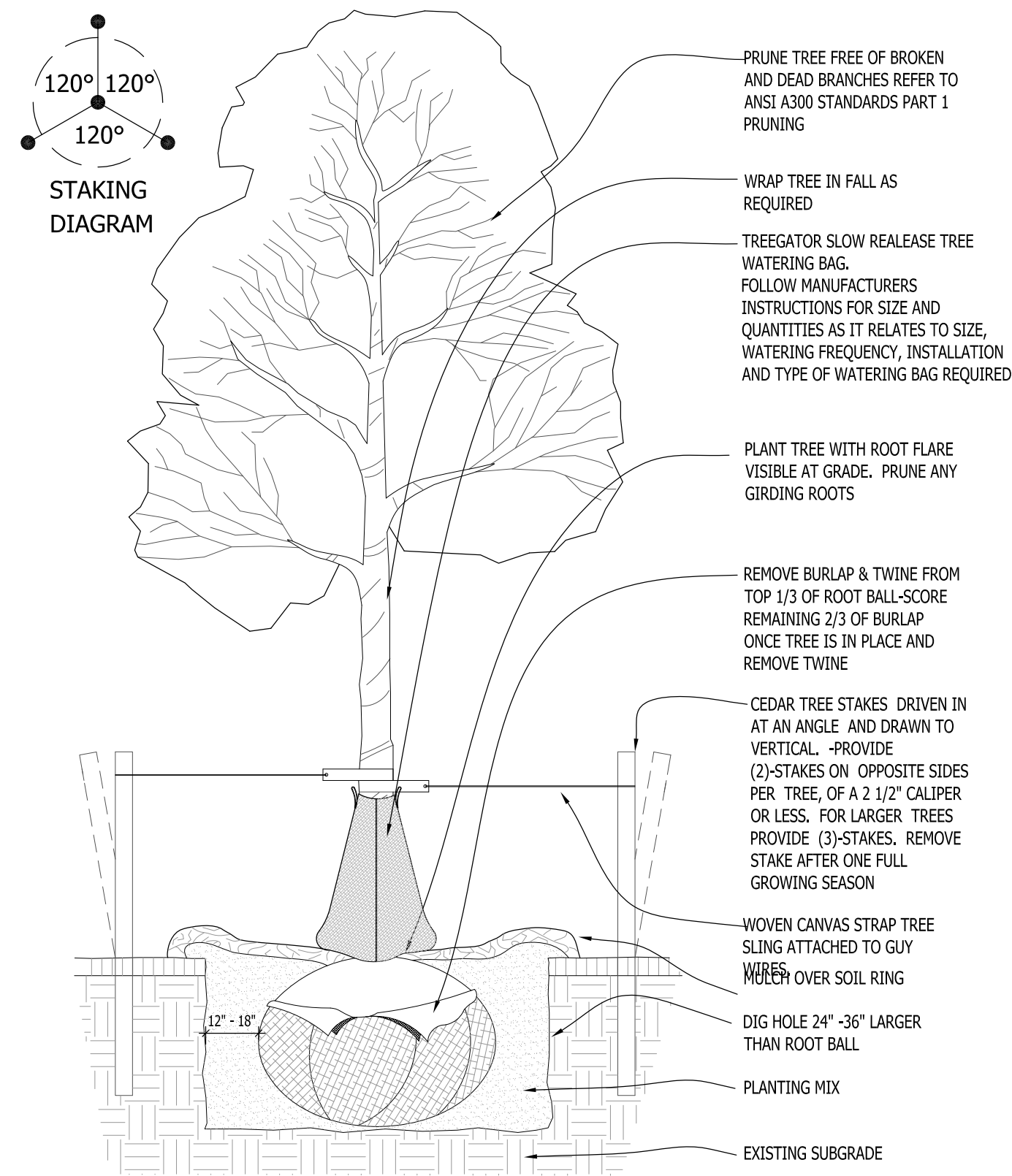
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Job Number: L25-015

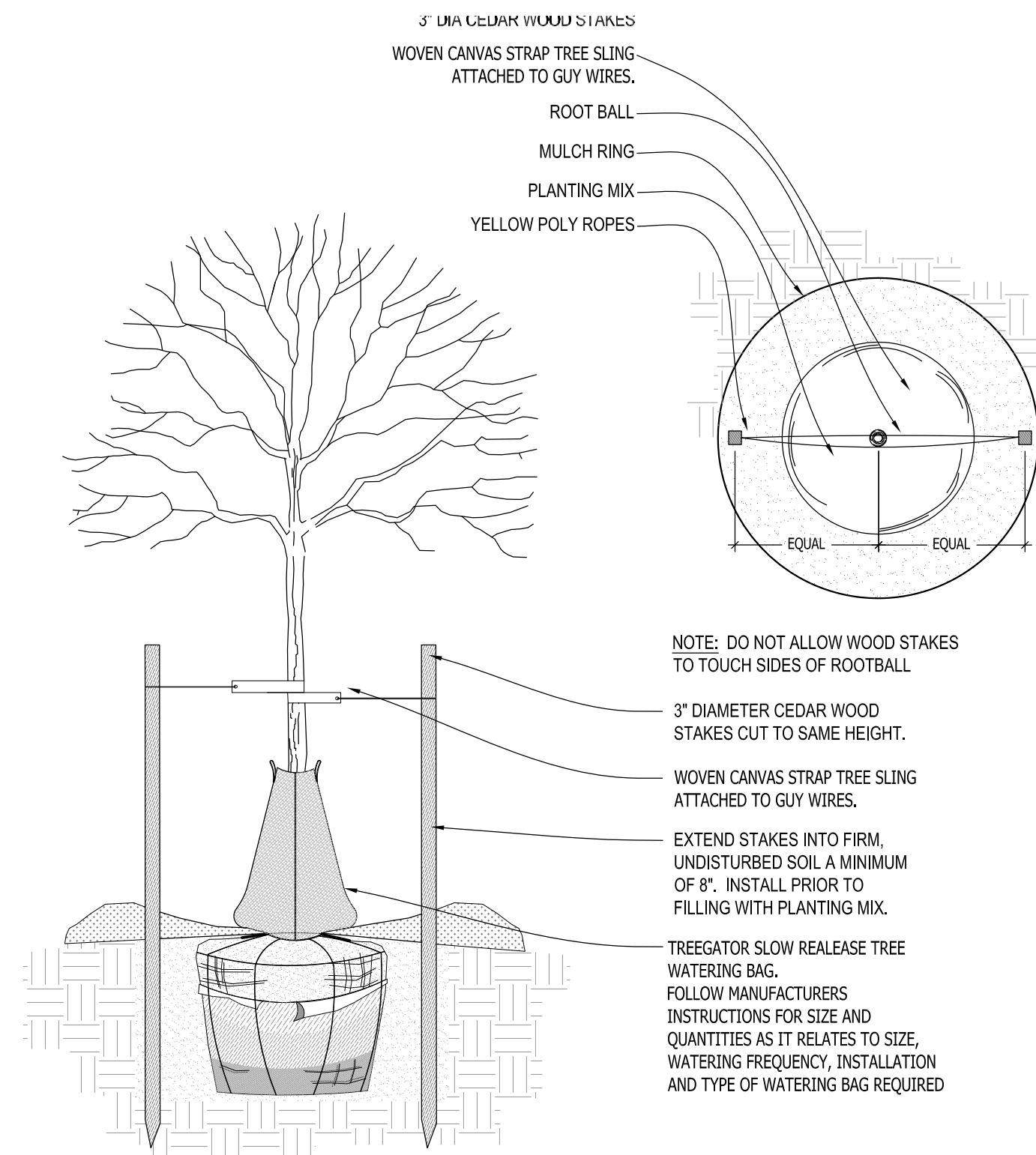
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LSP1.1

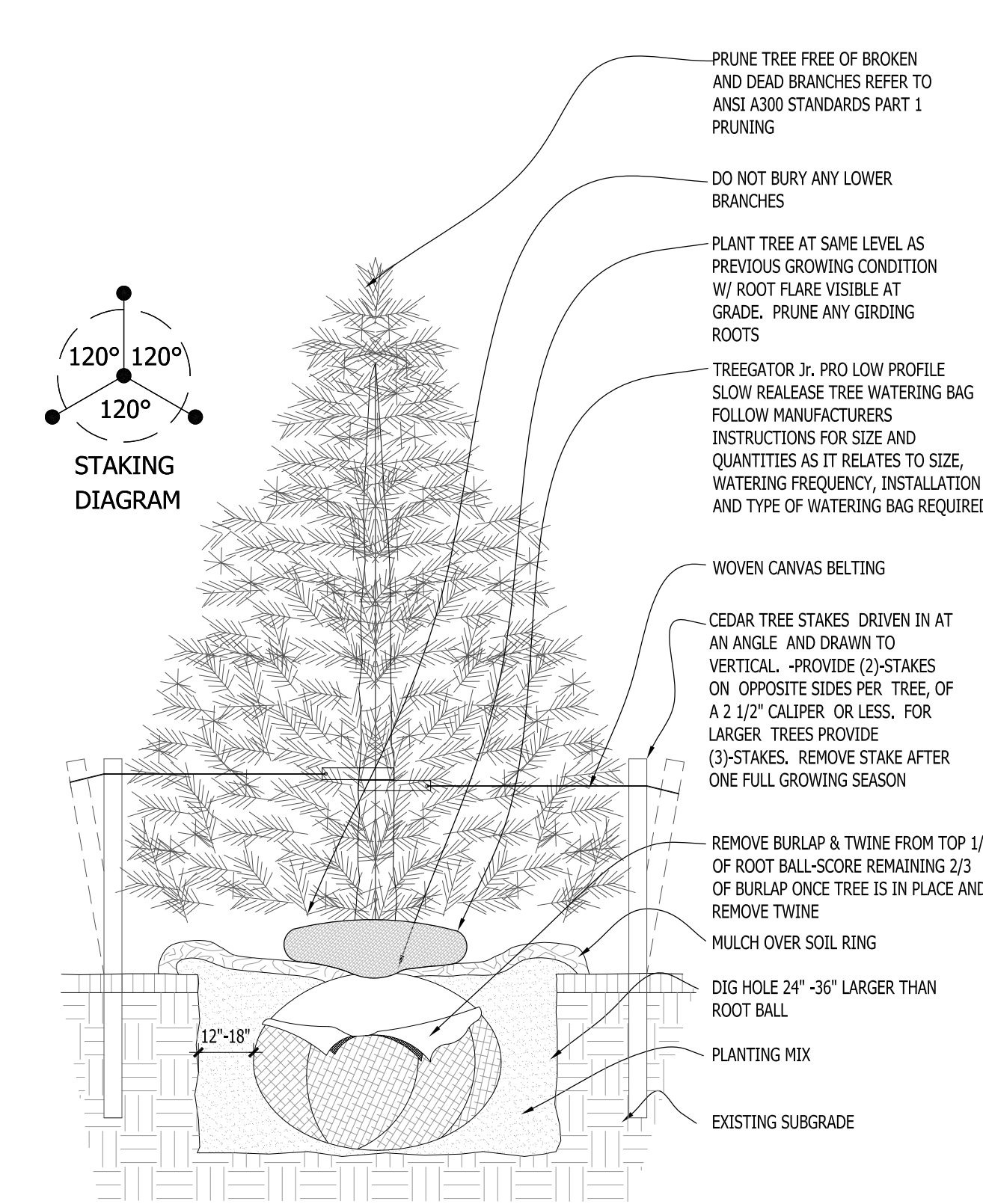




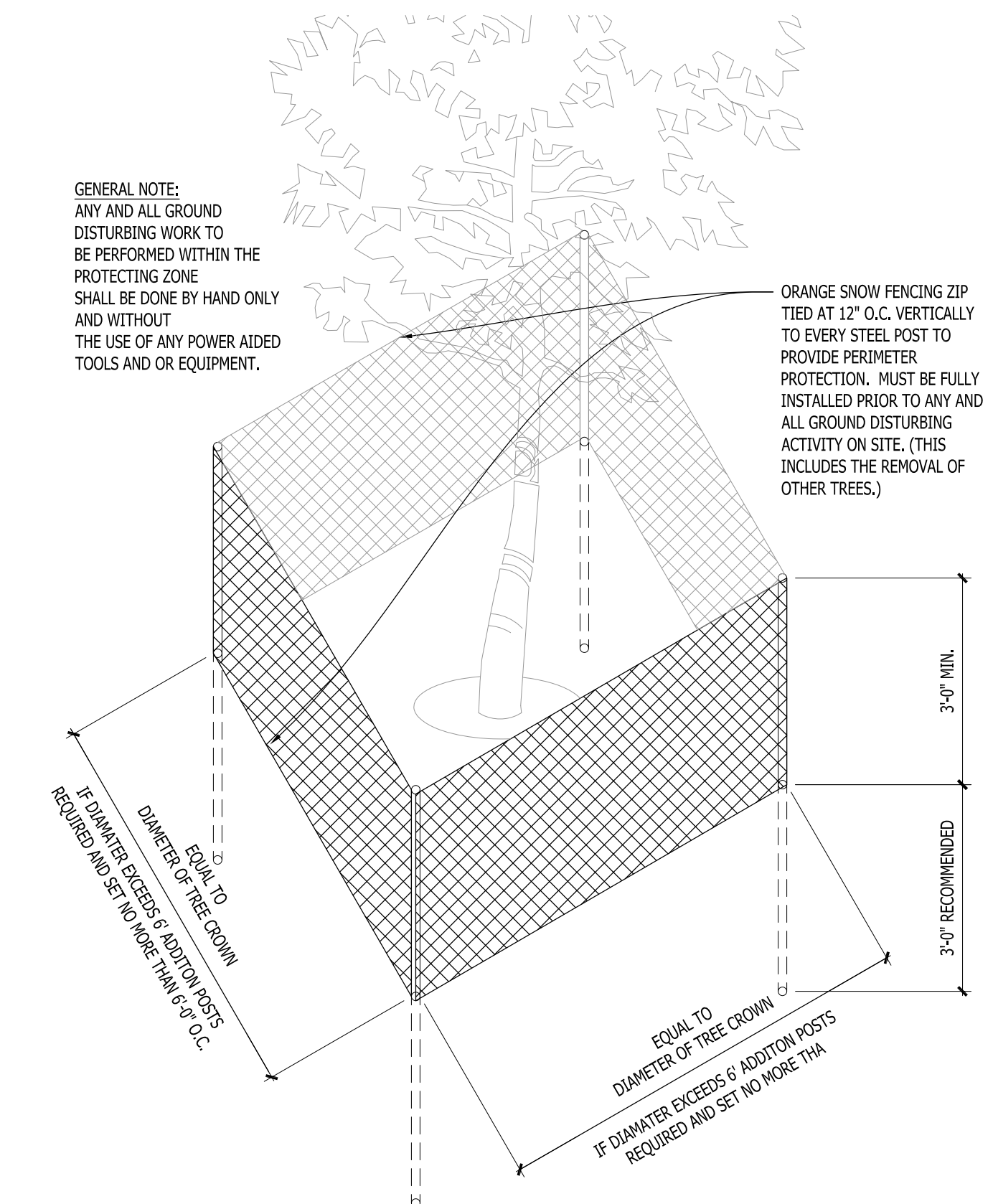
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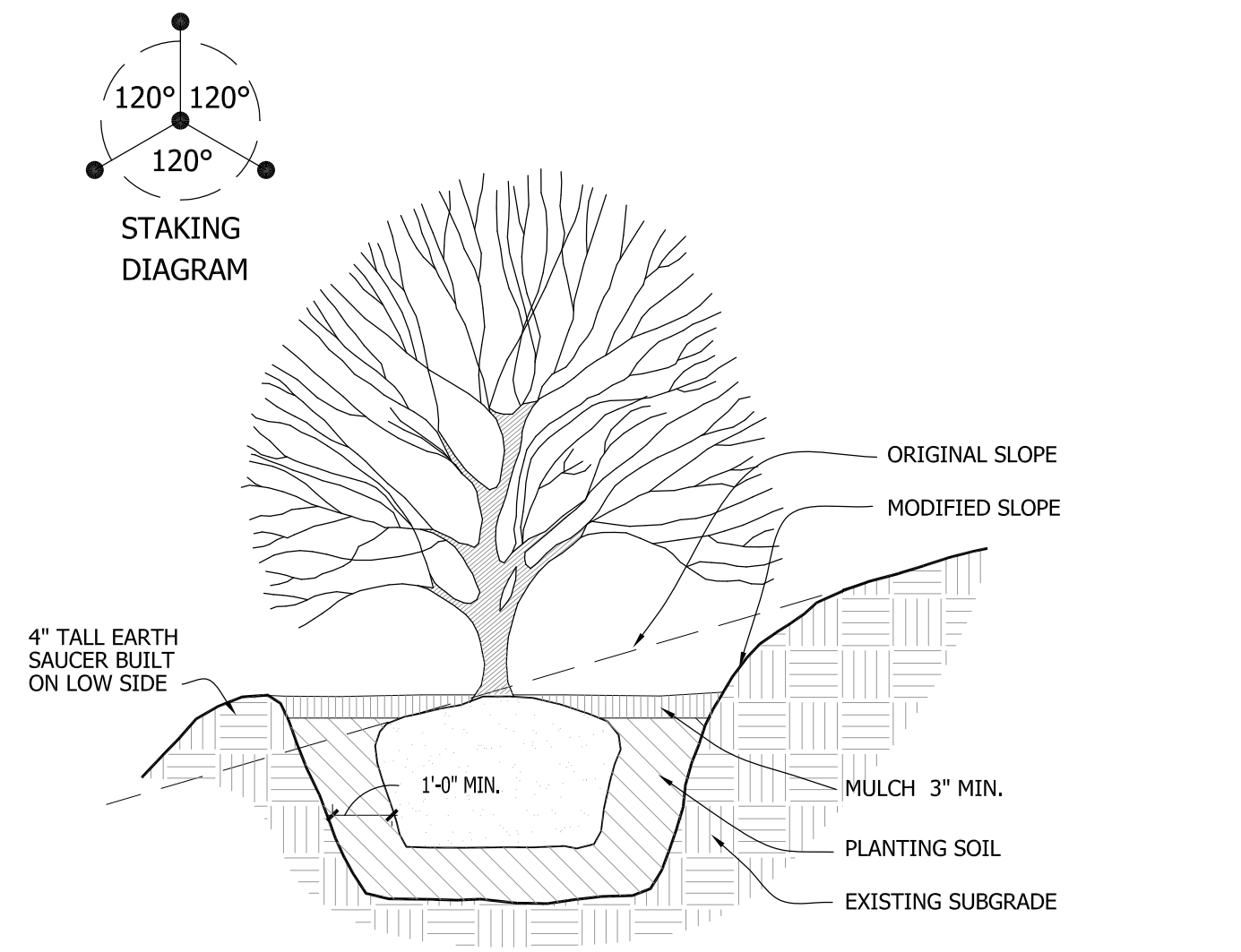
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



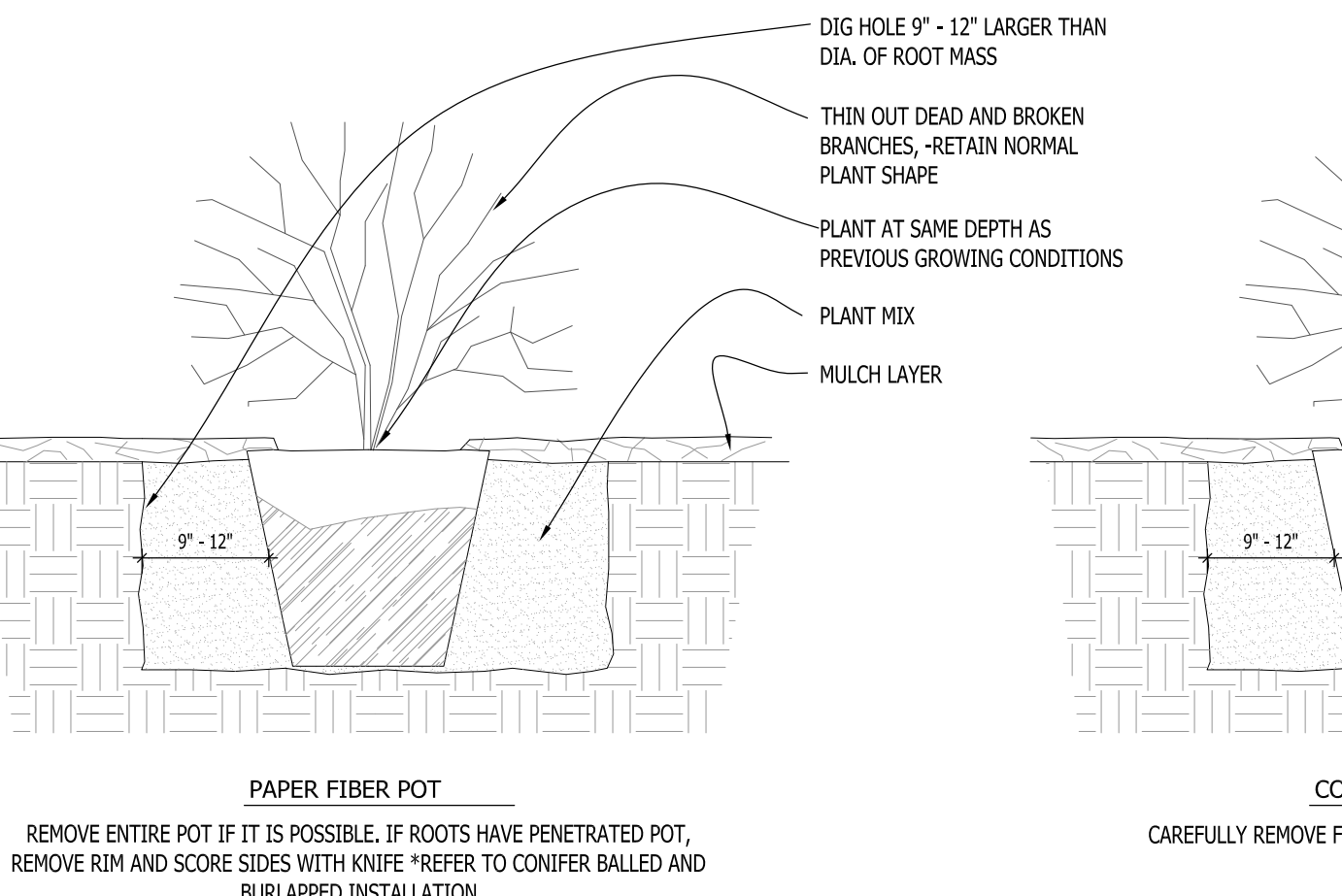
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



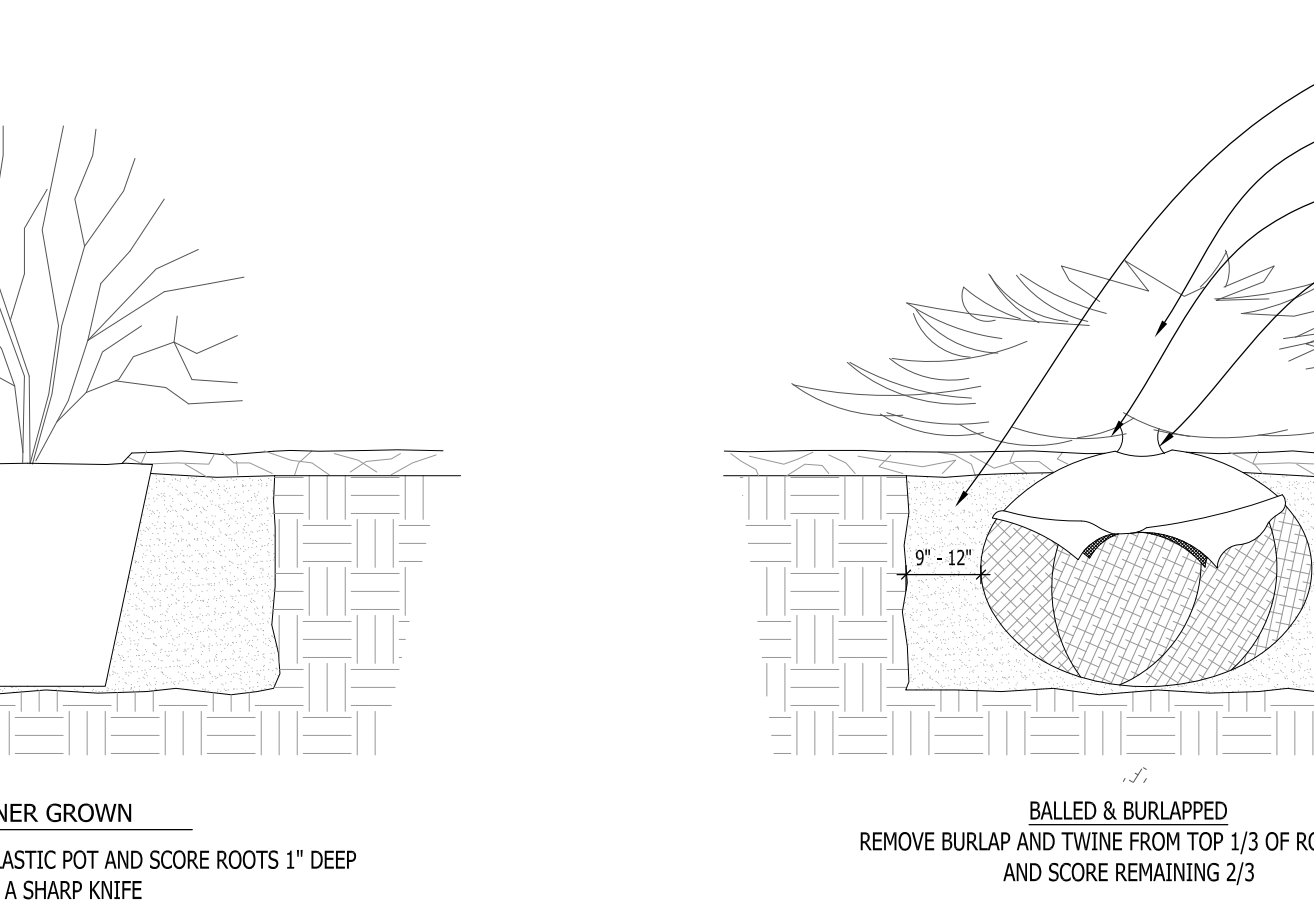
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



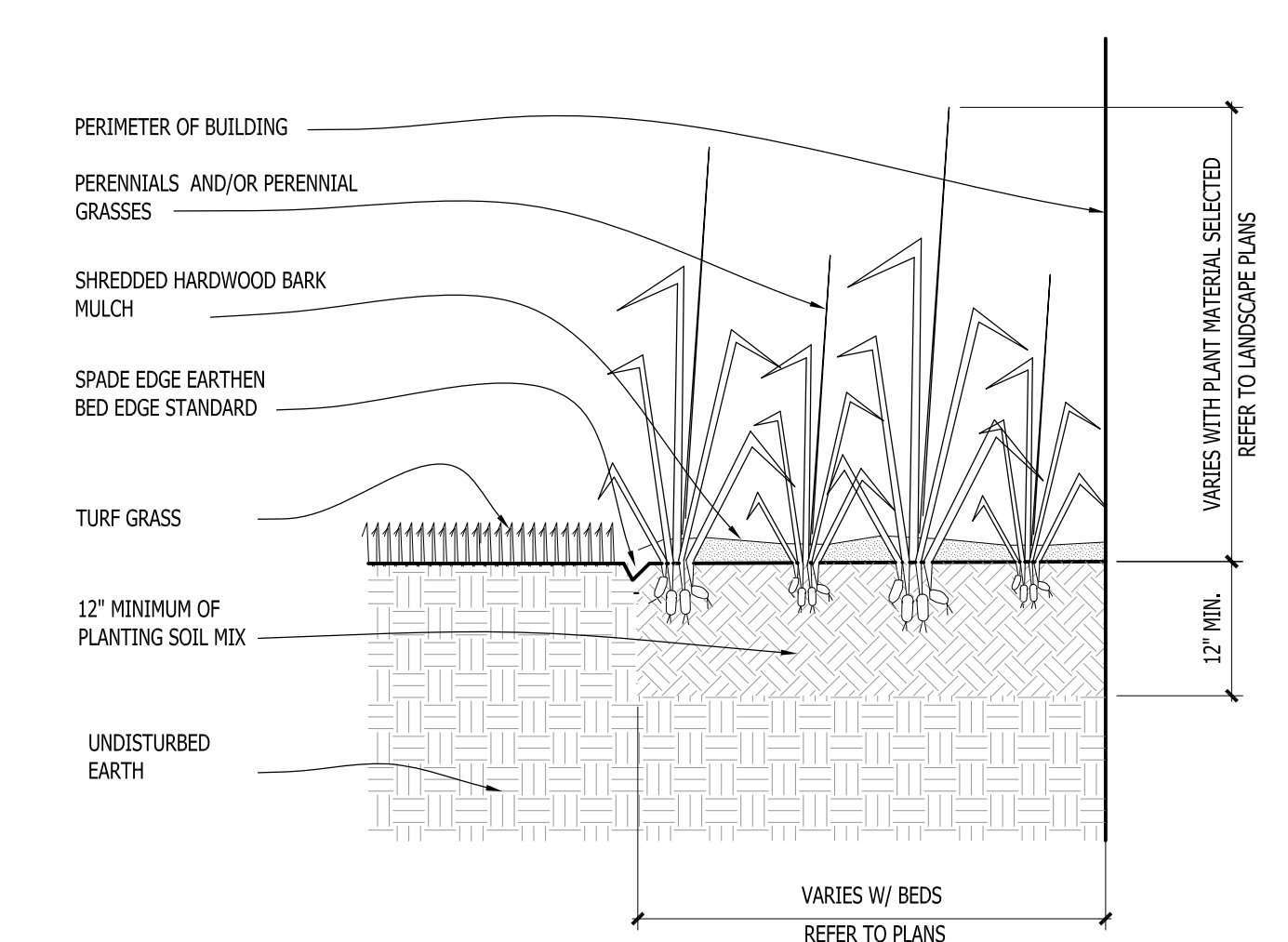
5 SLOPE PLANTING DETAIL SCALE: NONE



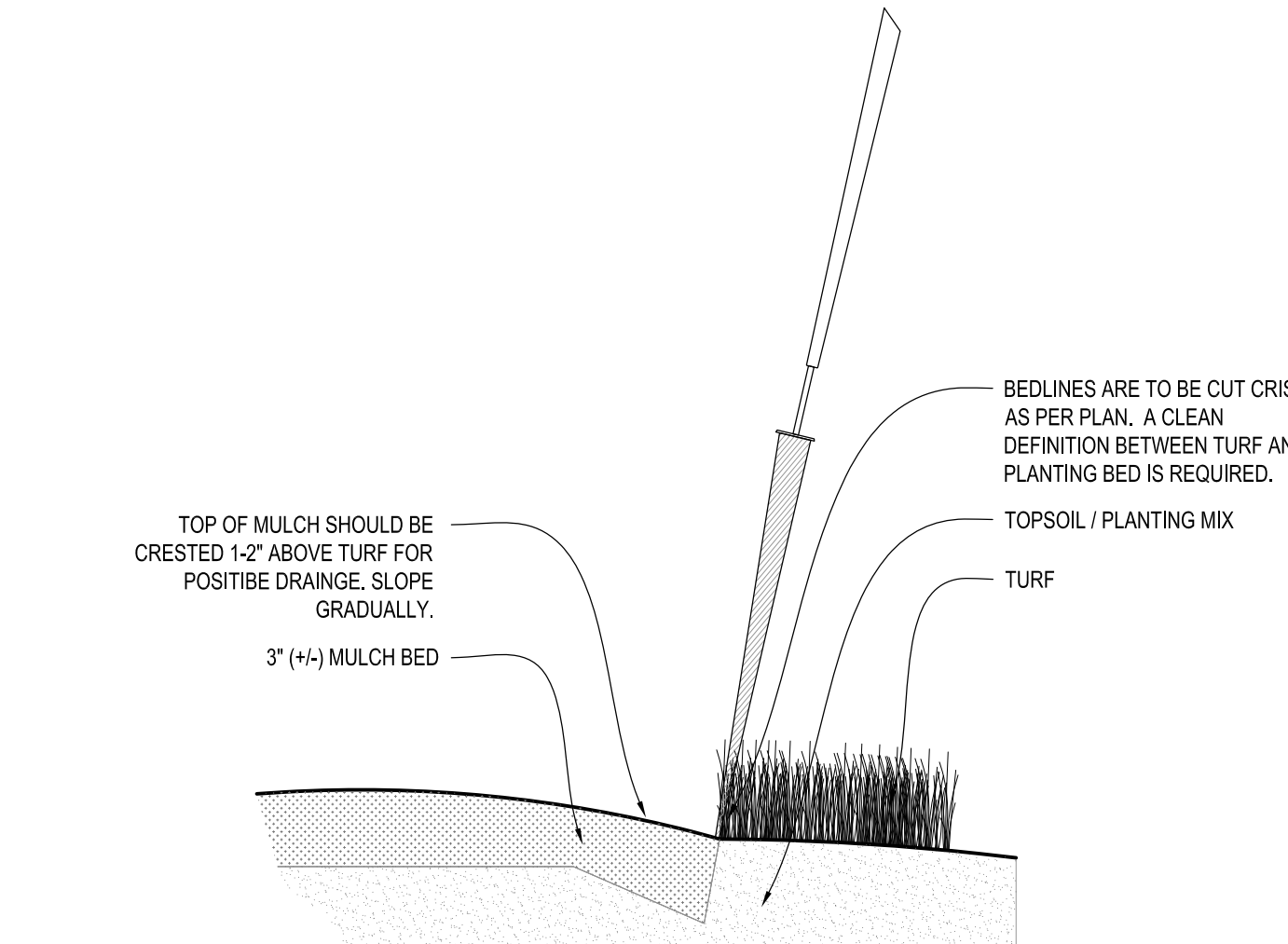
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

Issuance and Revisions:

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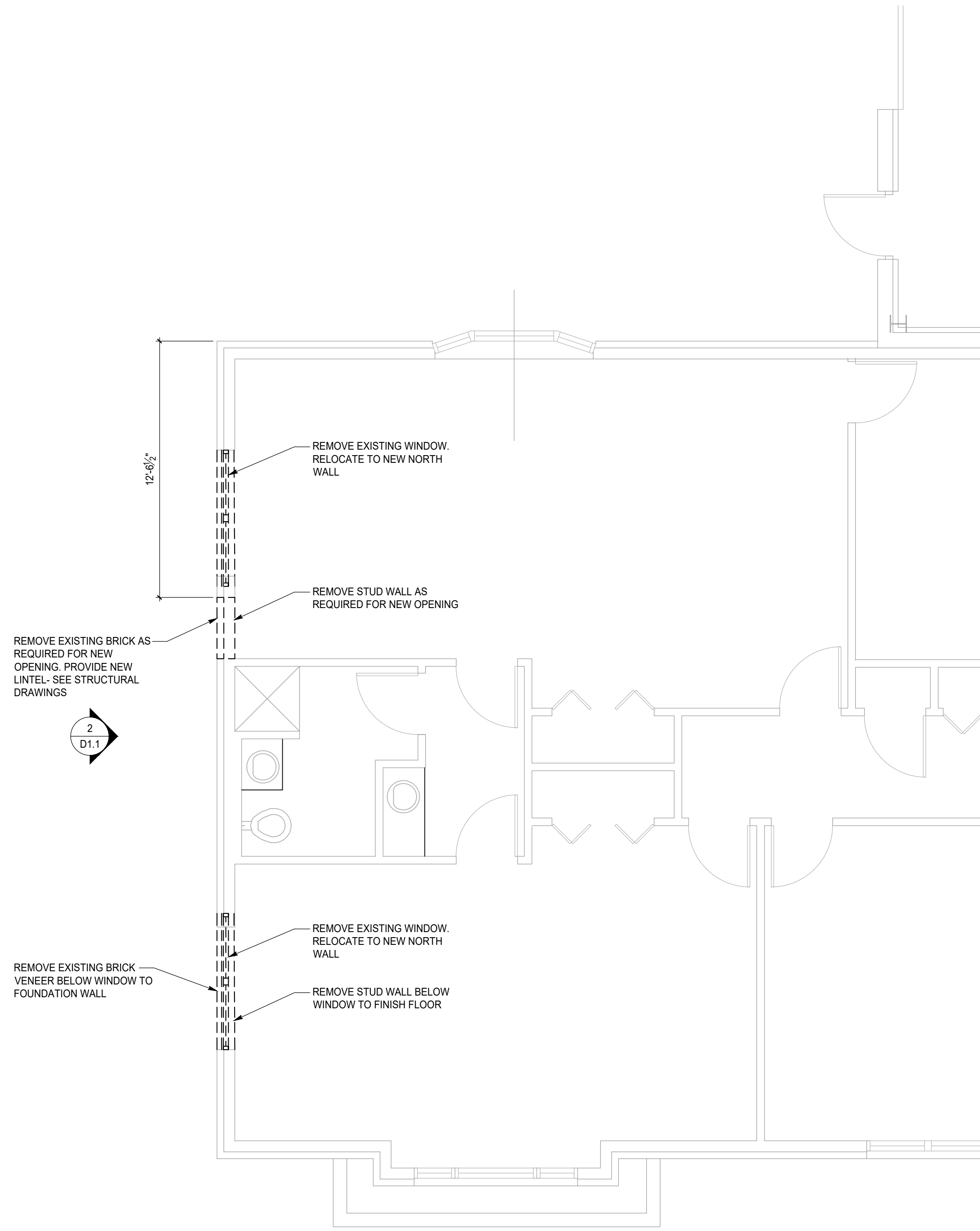
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Sheet Title:
PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

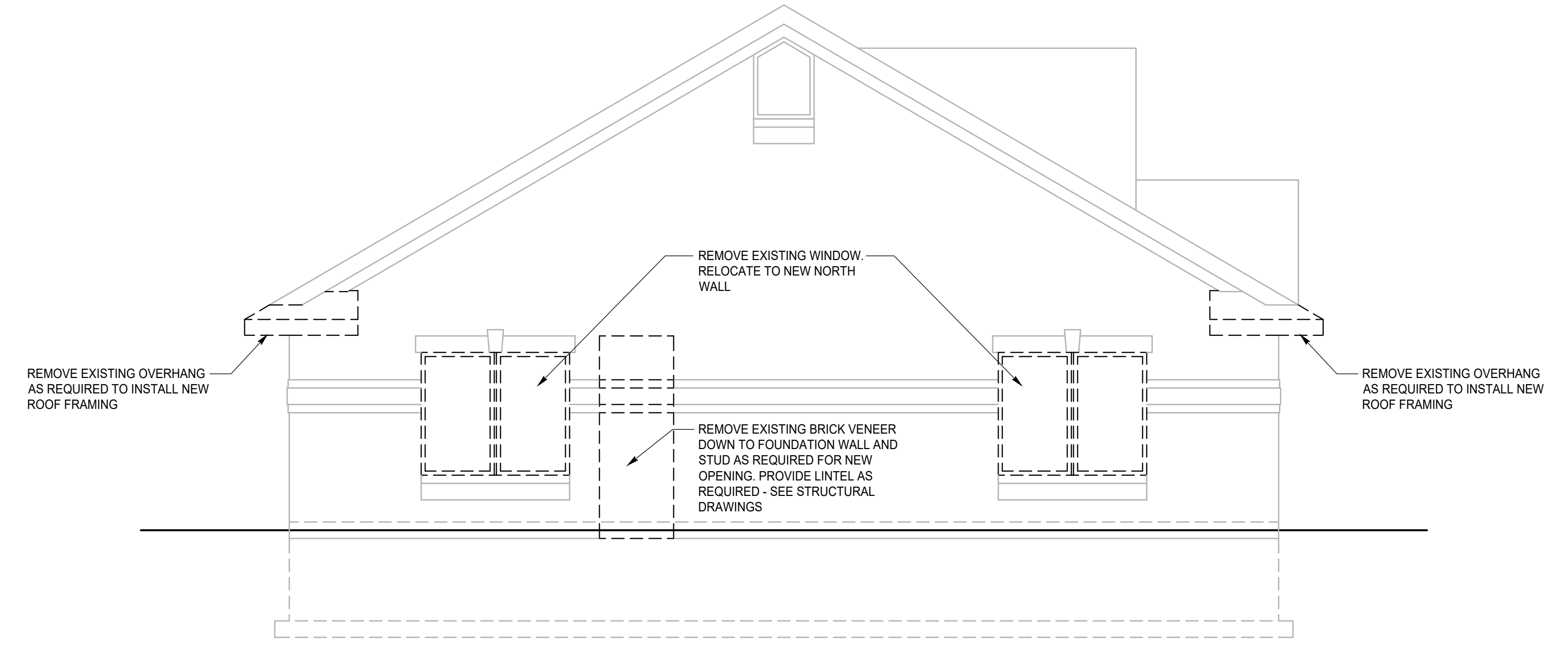
Date of Drawing: 07/20/25
Scale: As Noted
Drawn By: MCD
Job Number: L25-015
Sheet Number:

LSP1.2

NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS - These progress documents reflect progress & intent & may be subject to change, including additional notes and detail. These are not final construction documents and should not be used for final bidding or construction-related purposes. L25-015 - CAMPBELL CONSTRUCTION - Office Expansion - 07/20/2025 Page 26 of 128



1 DEMOLITION PLAN SCALE: 1/4" = 1'-0"



2 DEMOLITION NORTH ELEVATION SCALE: 1/4" = 1'-0"

BID SET - NOT FOR CONSTRUCTION
CAMPBELL CONSTRUCTION OFFICE ADDITION
461 River Crest Court
Mukwonago, WI 53149

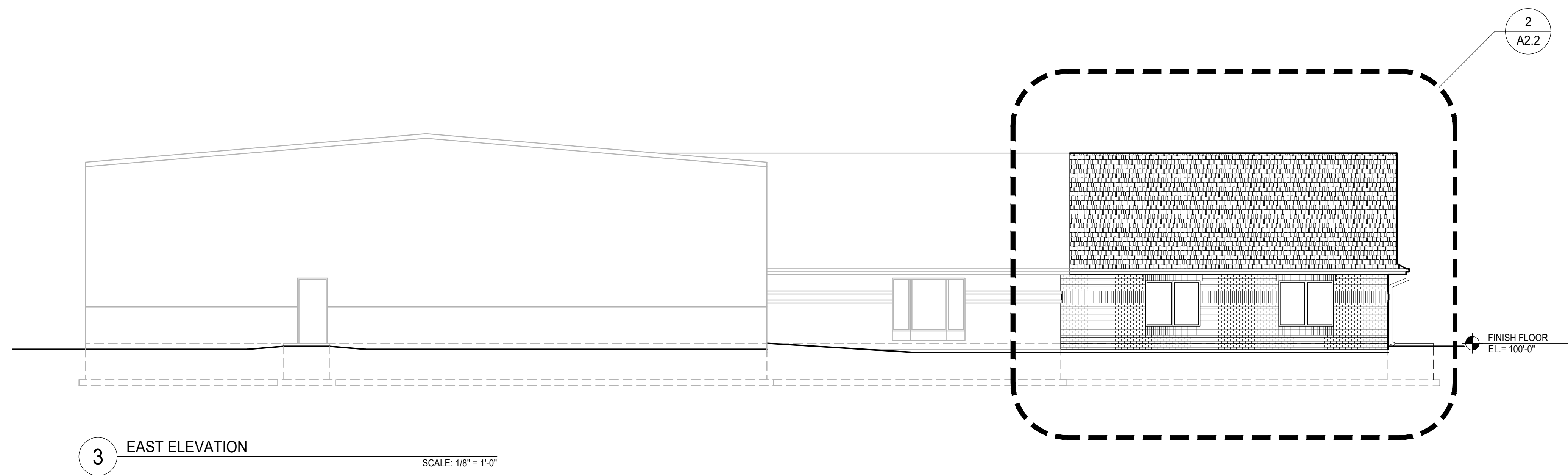
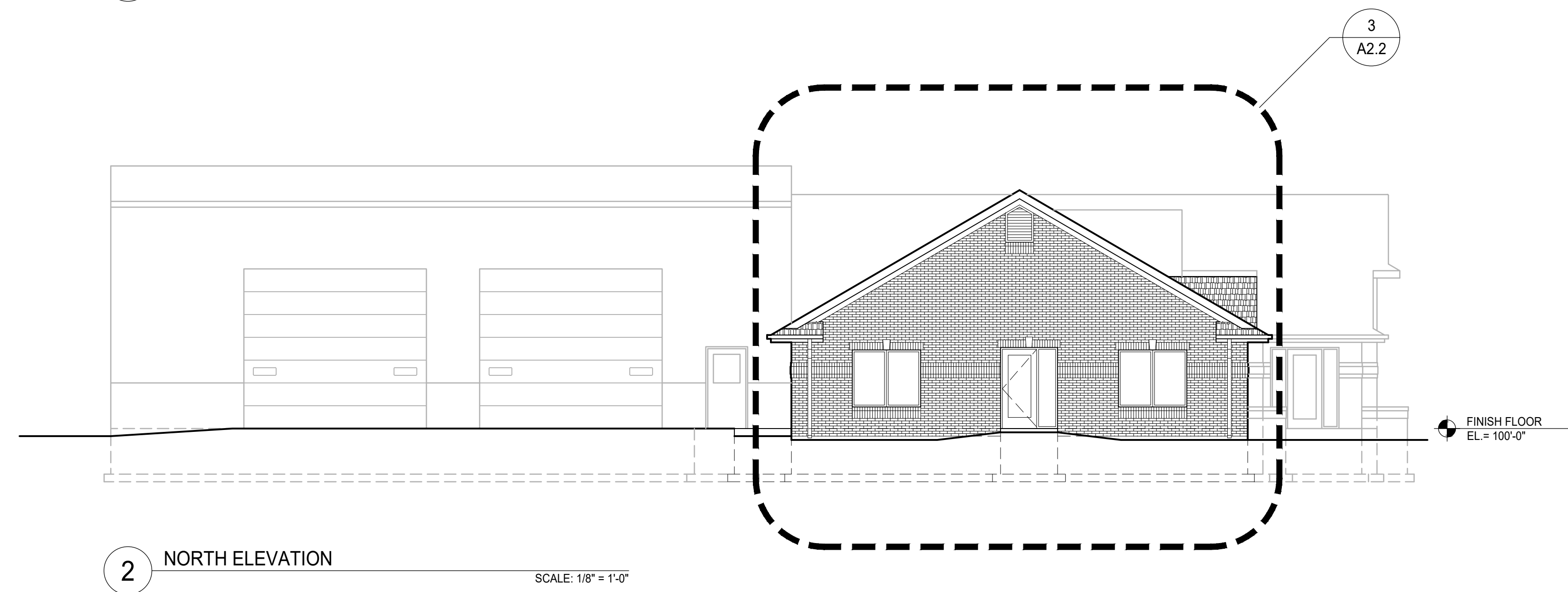
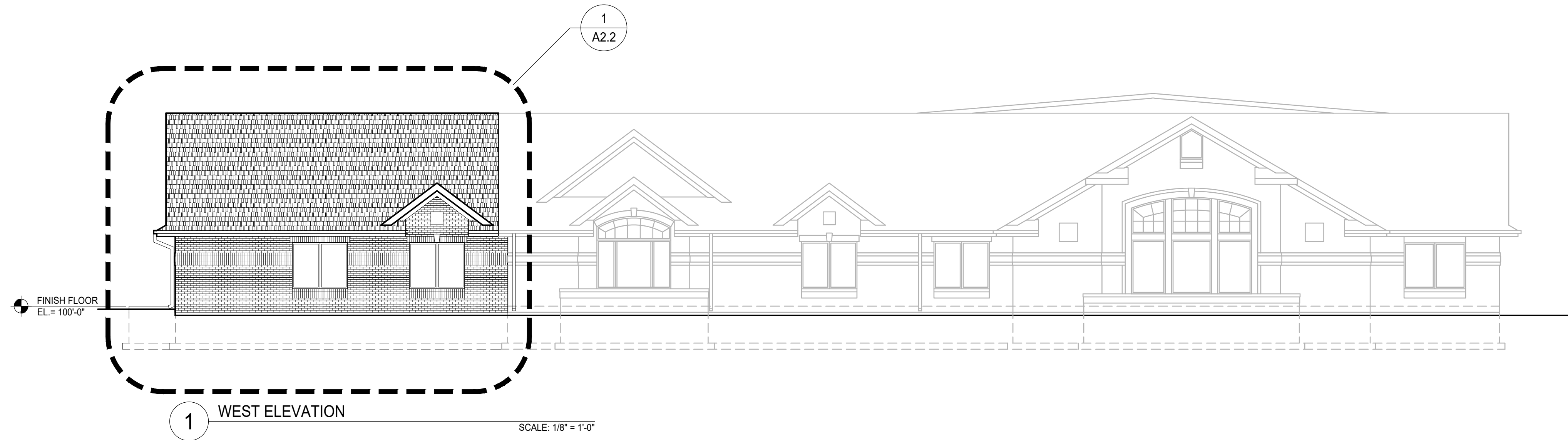
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PROJECT #: 4192-25

DATE: JULY 30, 2025

DEMOLITION PLAN

D1.1



GENERAL NOTES:

1. ALL EXTERIOR MATERIALS TO MATCH EXISTING BUILDING CONSTRUCTION.

BID SET - NOT FOR CONSTRUCTION

CAMPBELL CONSTRUCTION OFFICE ADDITION

461 River Crest Court
Mukwonago, WI 53149

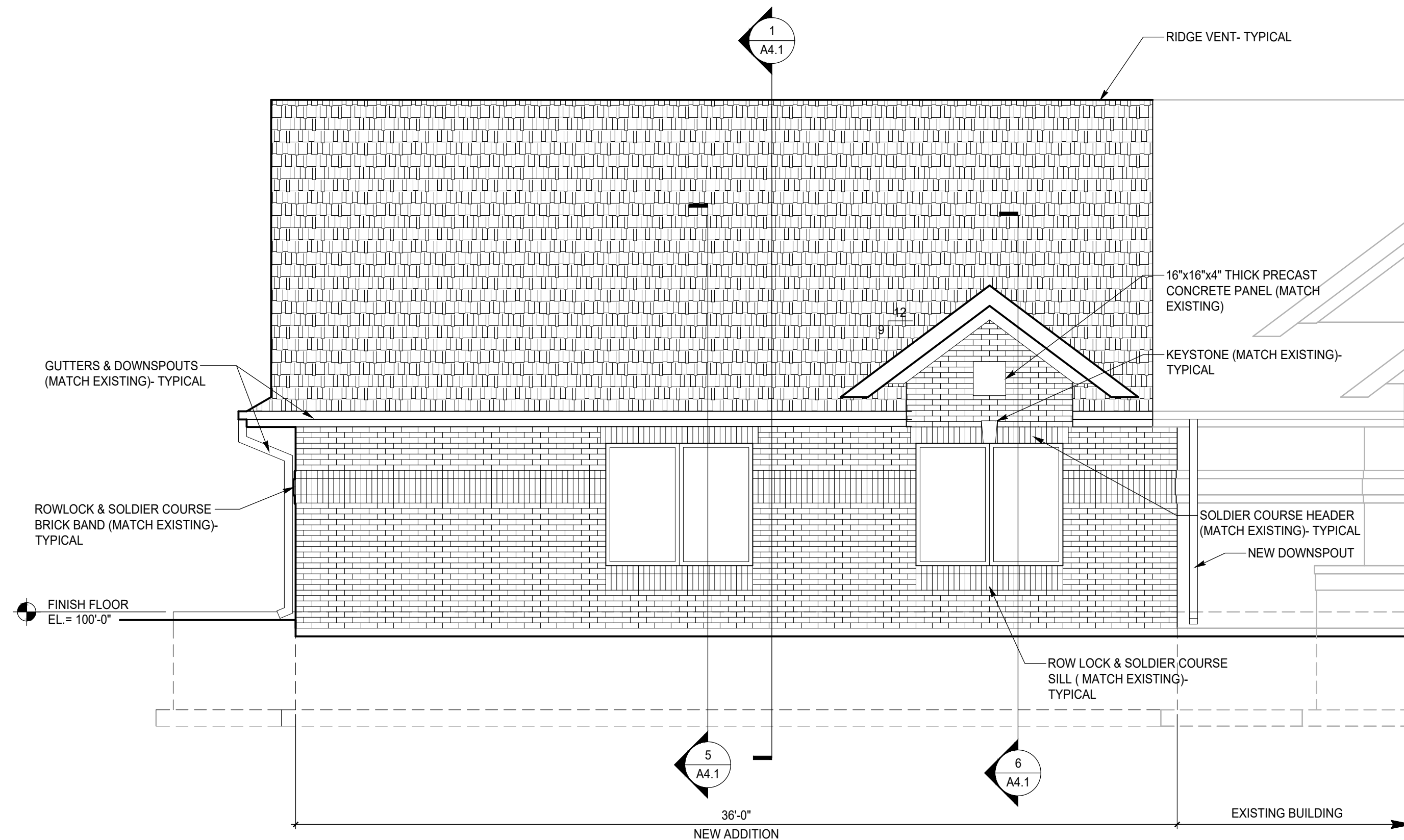
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PROJECT #: 4192-25

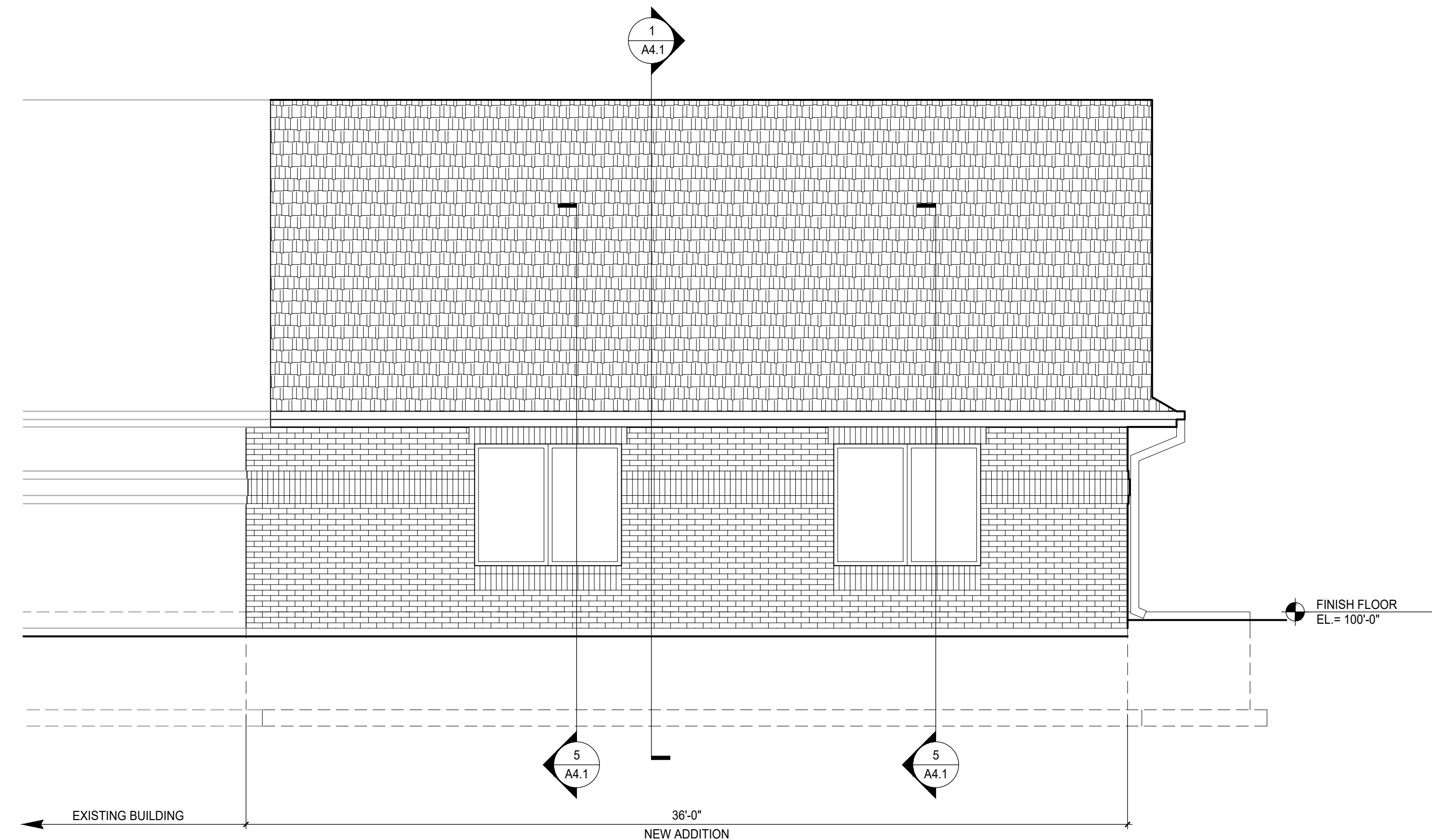
DATE: JULY 30, 2025

EXTERIOR ELEVATIONS

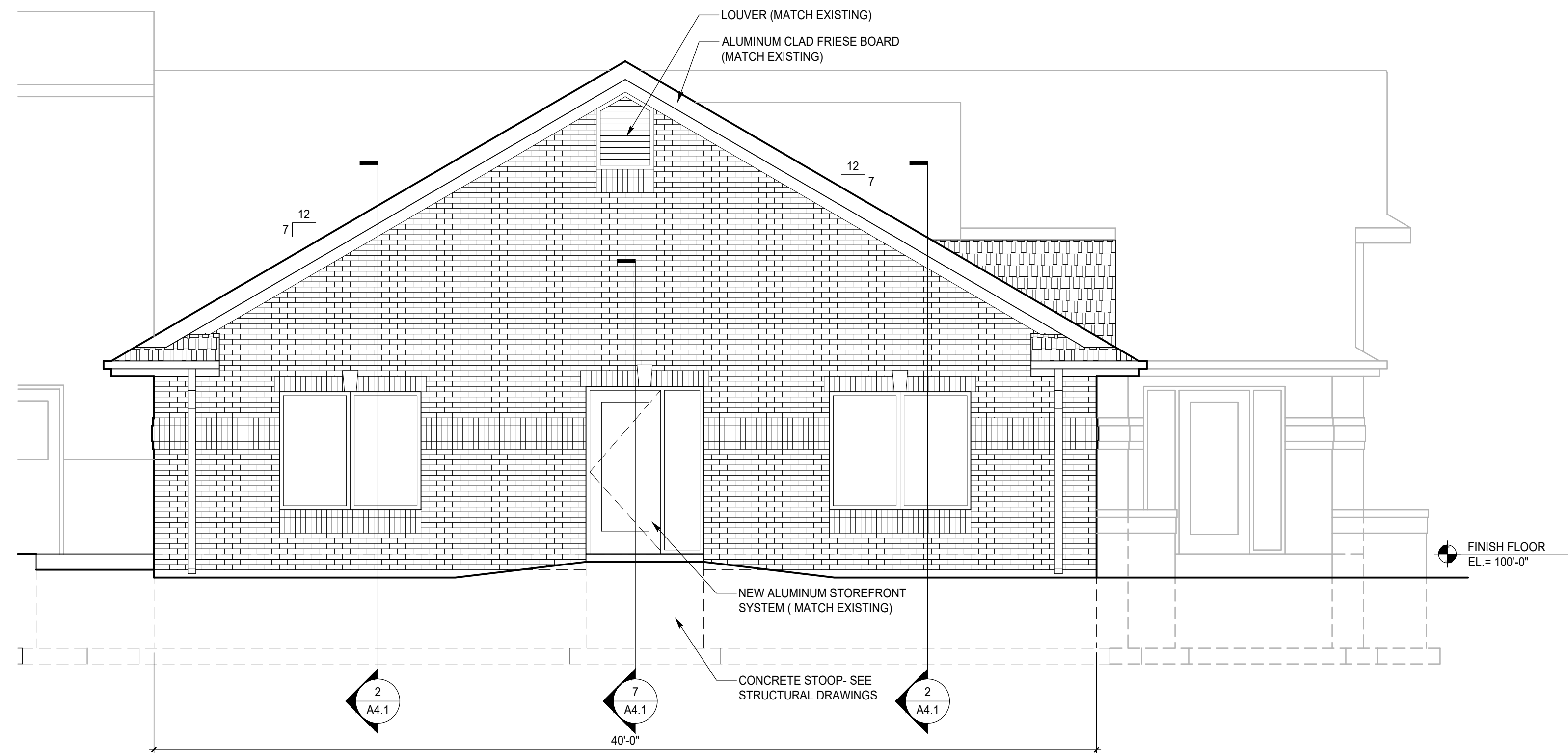
A2.1



1 PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 PARTIAL EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 PARTIAL NORTH ELEVATION
SCALE: 1/4" = 1'-0"

CAMPBELL CONSTRUCTION OFFICE ADDITION

461 River Crest Court
Mukwonago, WI 53149

NO.	DATE	DESCRIPTION

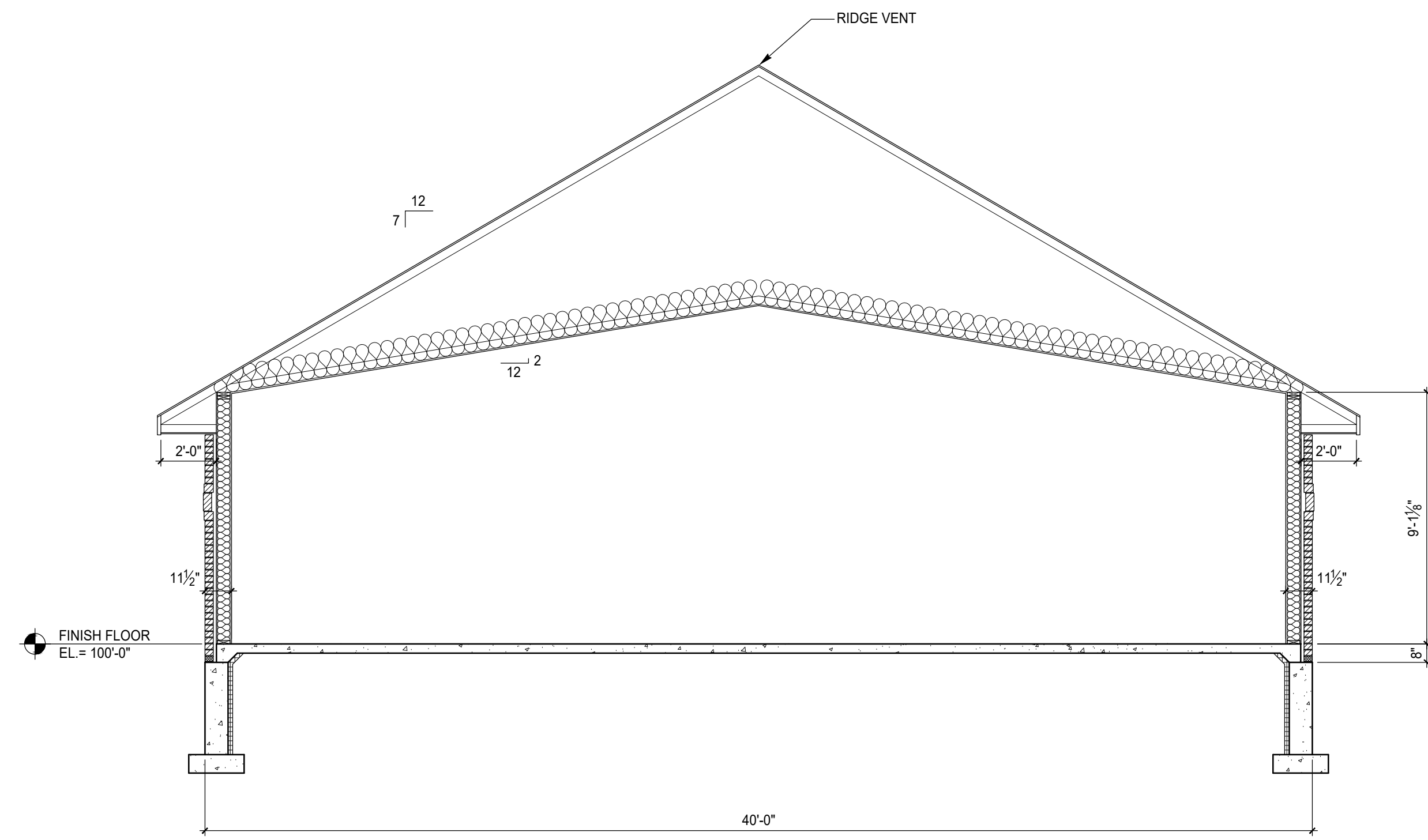
PROJECT #: 4192-25

DATE: JULY 30, 2025

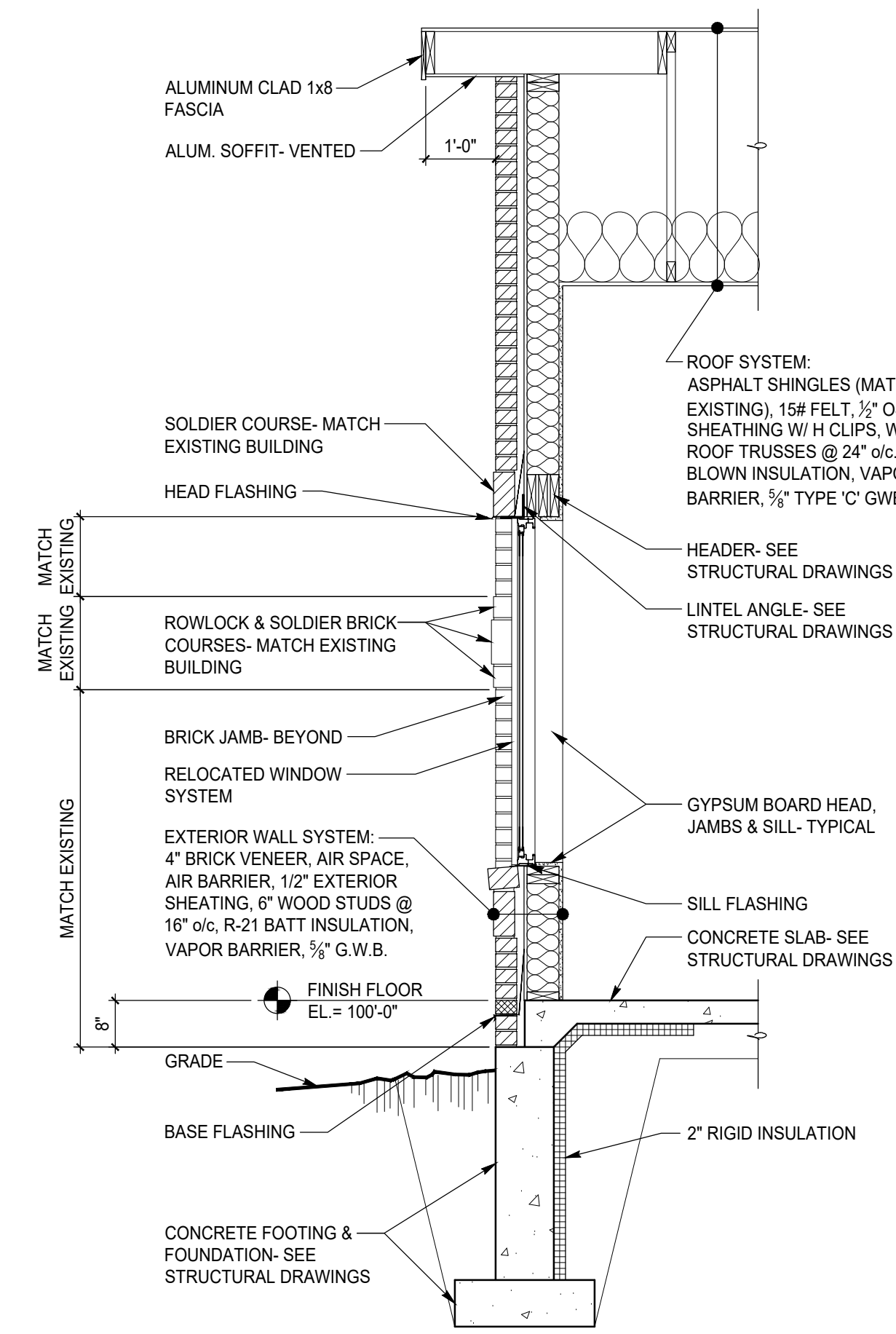
ENLARGED ELEVATIONS

A2.2

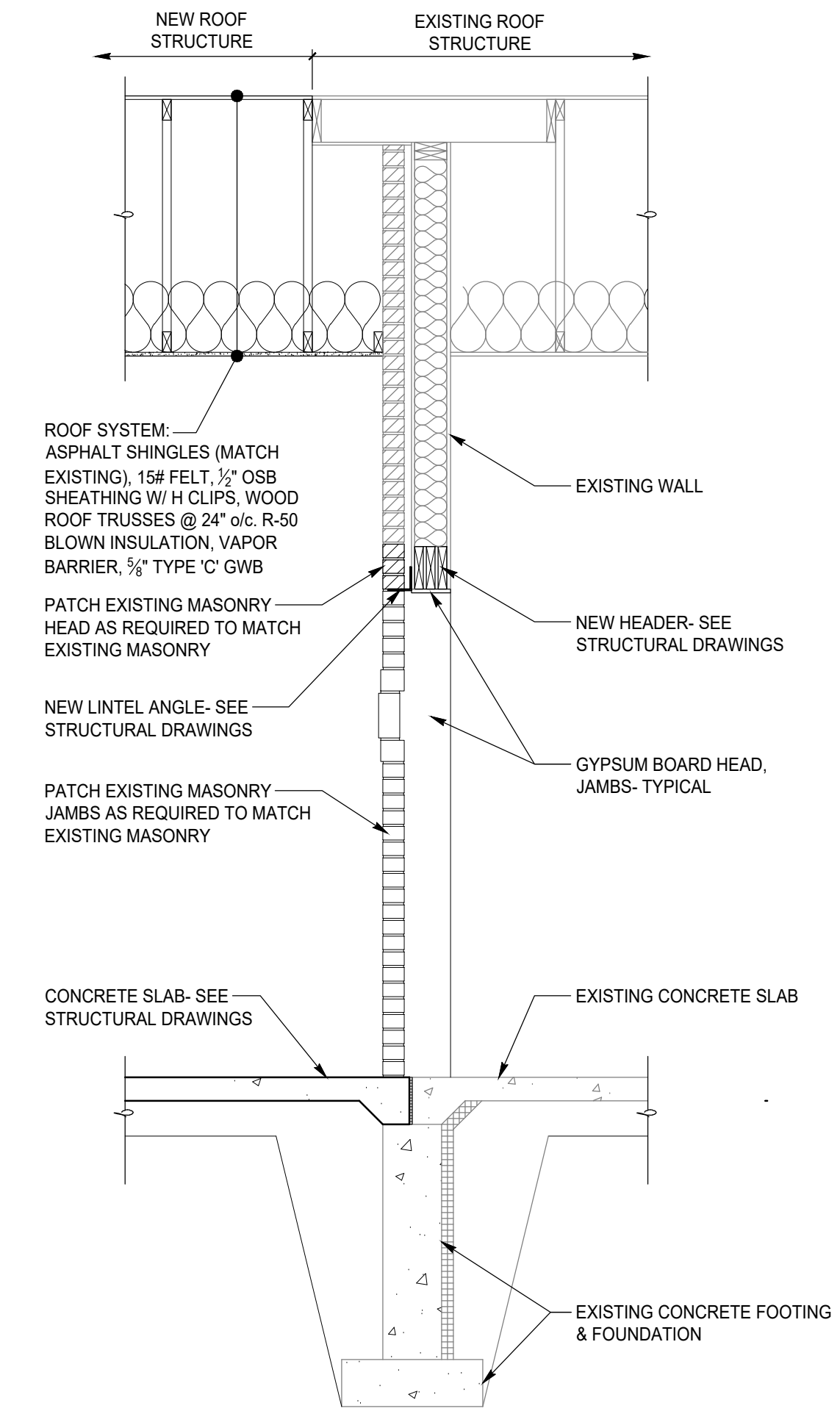
BID SET - NOT FOR CONSTRUCTION



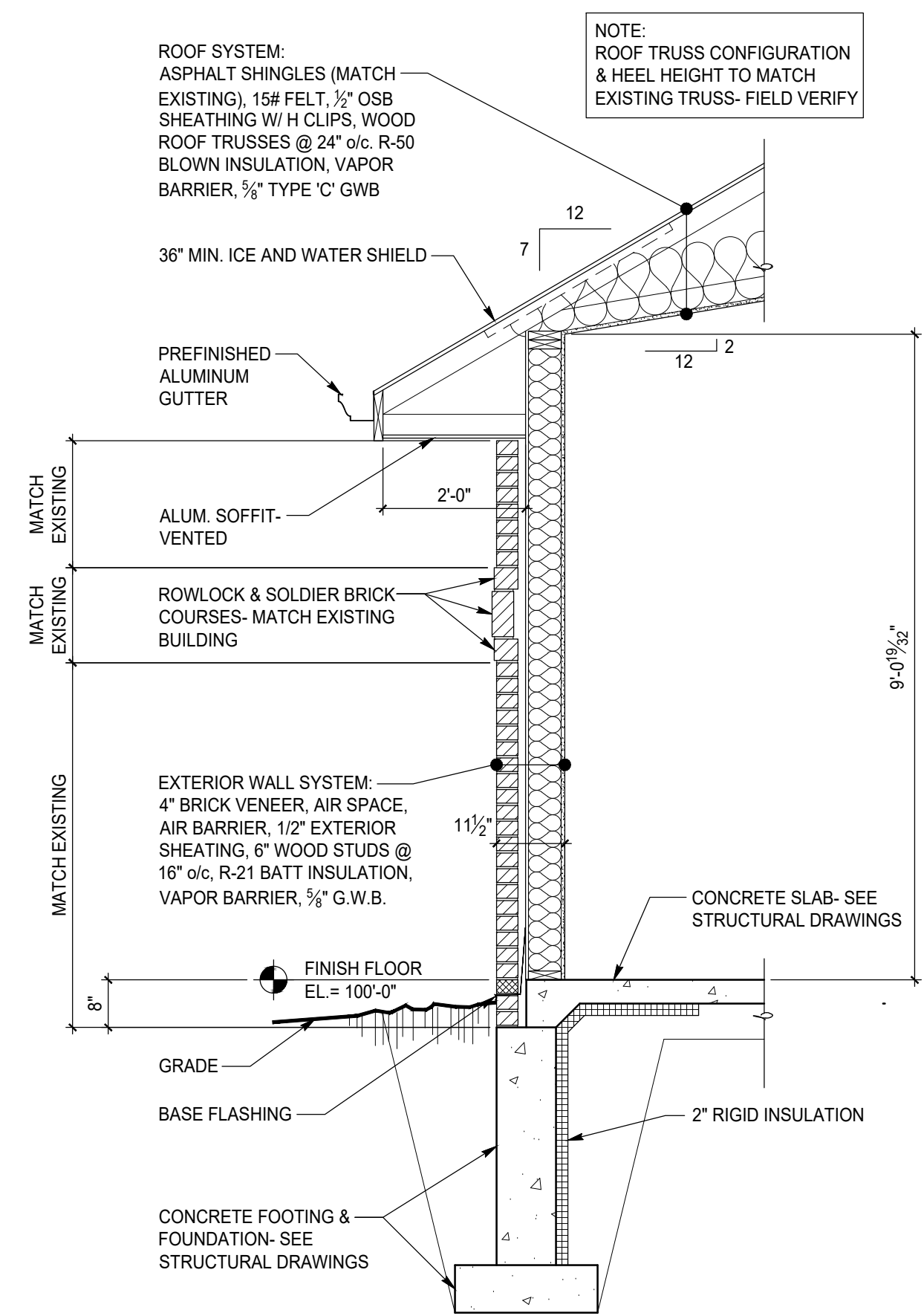
1 BUILDING SECTION SCALE: 1/4" = 1'-0"



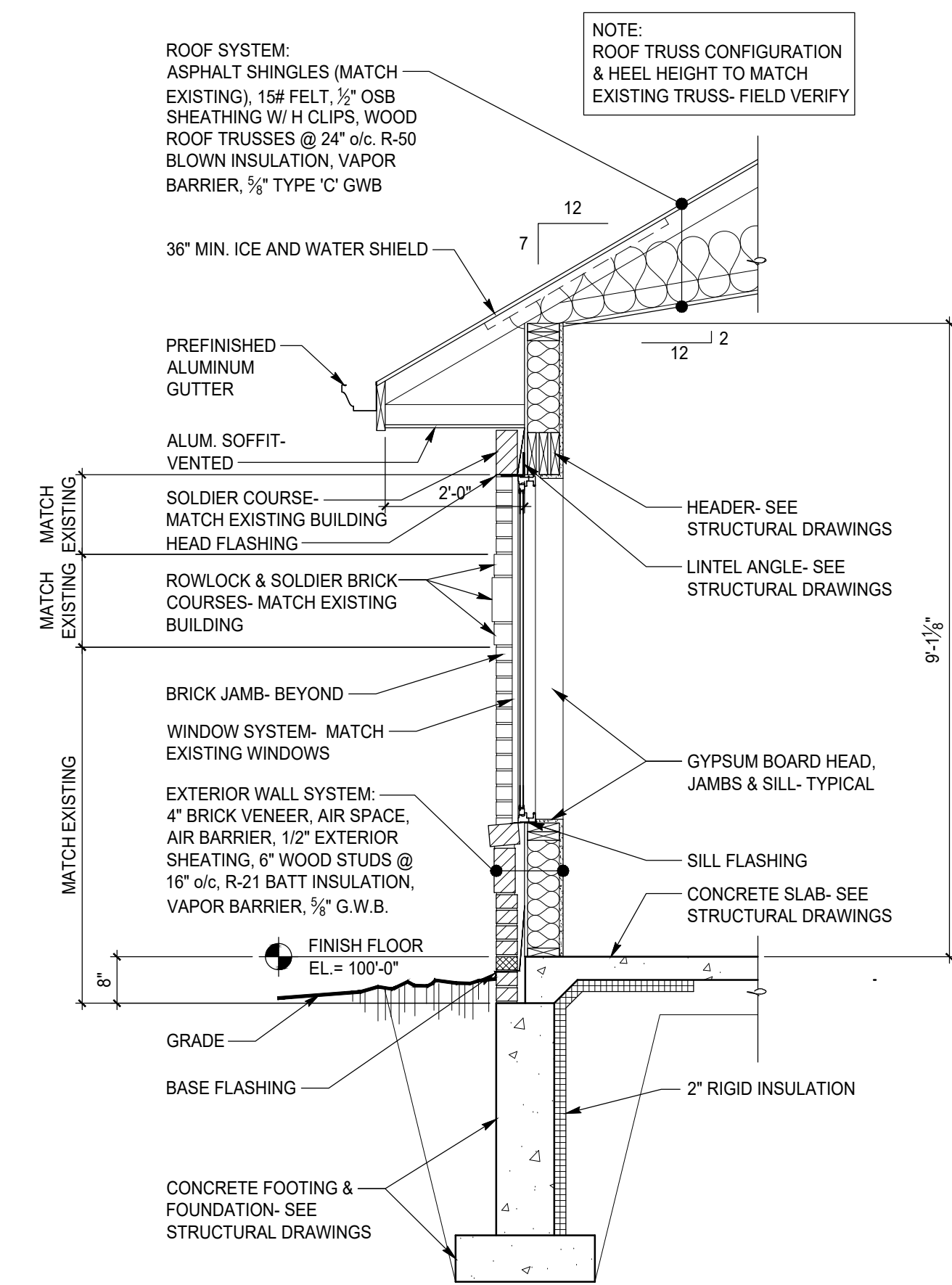
2 WALL SECTION SCALE: 1/2" = 1'-0"



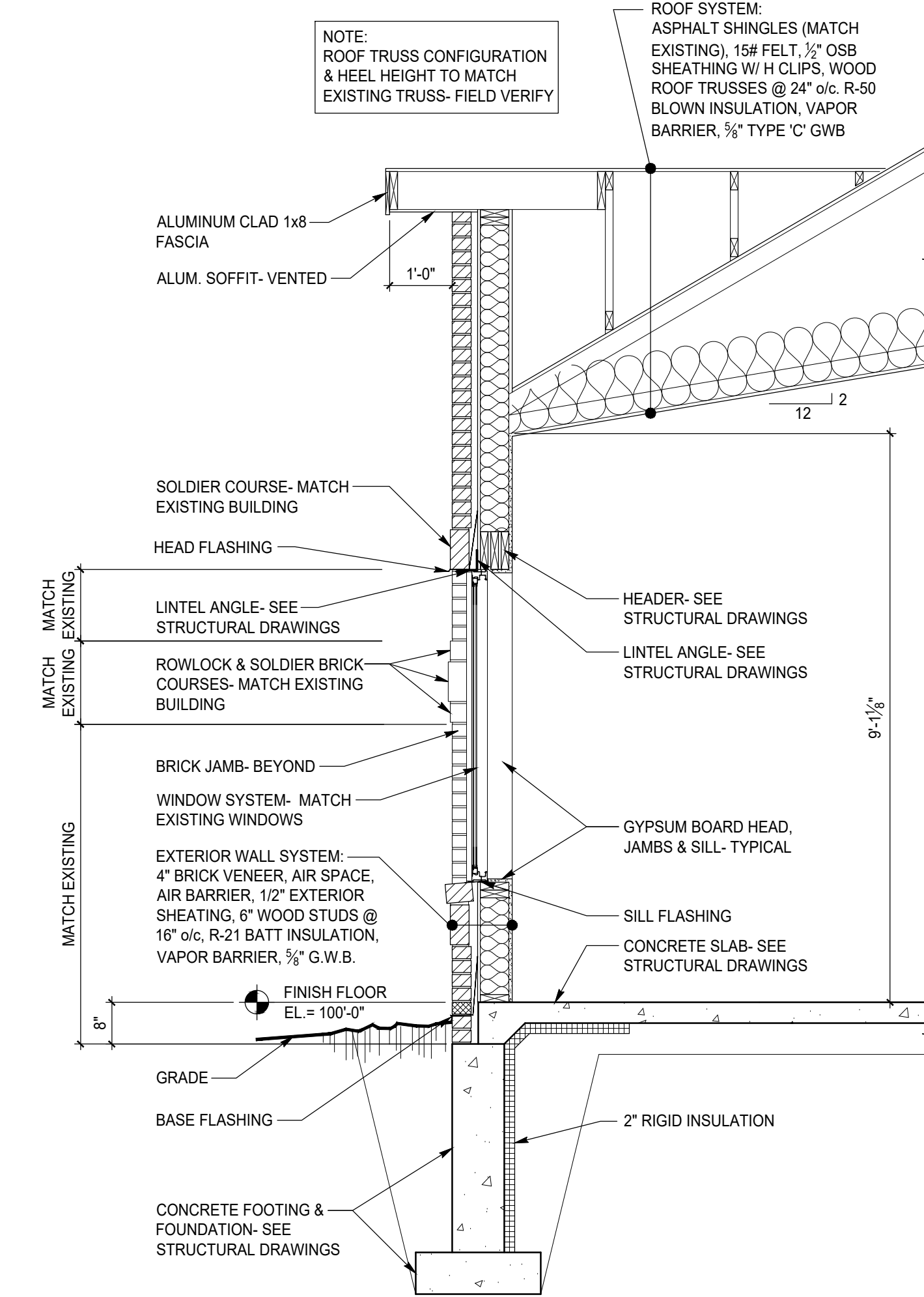
3 WALL SECTION SCALE: 1/2" = 1'-0"



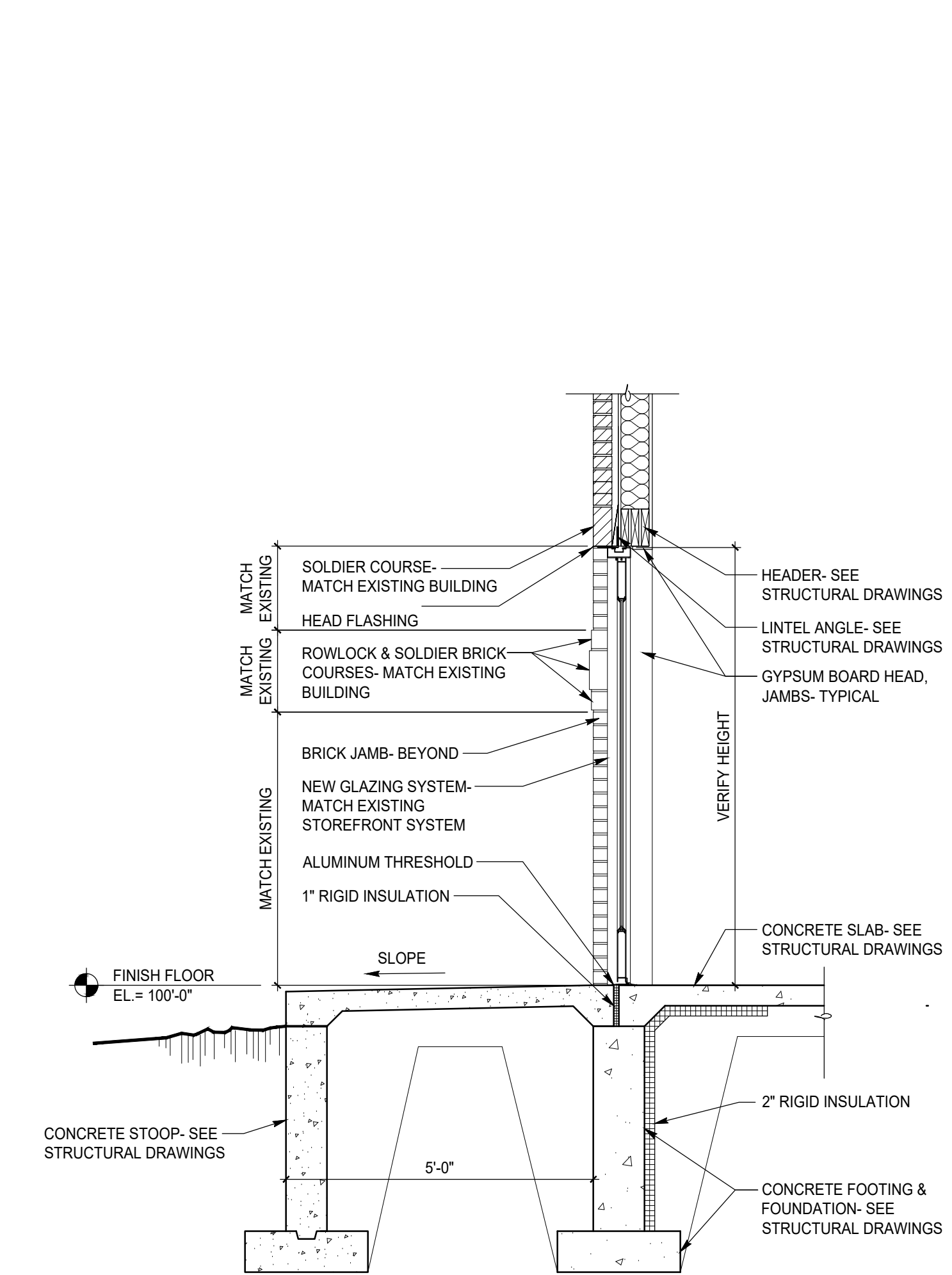
4 WALL SECTION SCALE: 1/2" = 1'-0"



5 WALL SECTION SCALE: 1/2" = 1'-0"



6 WALL SECTION SCALE: 1/2" = 1'-0"



7 WALL SECTION SCALE: 1/2" = 1'-0"

CAMPBELL CONSTRUCTION OFFICE ADDITION

461 River Crest Court
Mukwonago, WI 53149

BID SET - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
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PROJECT #: 4192-25

DATE: JULY 30, 2025

WALL SECTIONS

A4.1

ROOM FINISH SCHEDULE													
ROOM NO.	ROOM NAME	FLOOR MATL.	BASE MATL.	WALLS				CASEWORK		CEILING		MISC. MATL.	NOTES
				NORTH	EAST	SOUTH	WEST	COUNTERS	CABINETS	MATERIAL	HEIGHT		
100	CORRIDOR	CPT-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--
101	CEO OFFICE	CPT-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--
102	PRESIDENT OFFICE	CPT-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--
103	FURNACE ROOM	CPT-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--
104	ASSISTANT OFFICE	CPT-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--
105	COO OFFICE	SC-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--
106	VP OFFICE	SC-1	VB-1	PT-1	PT-1	PT-1	PT-1	--	--	PT-2	--	--	--

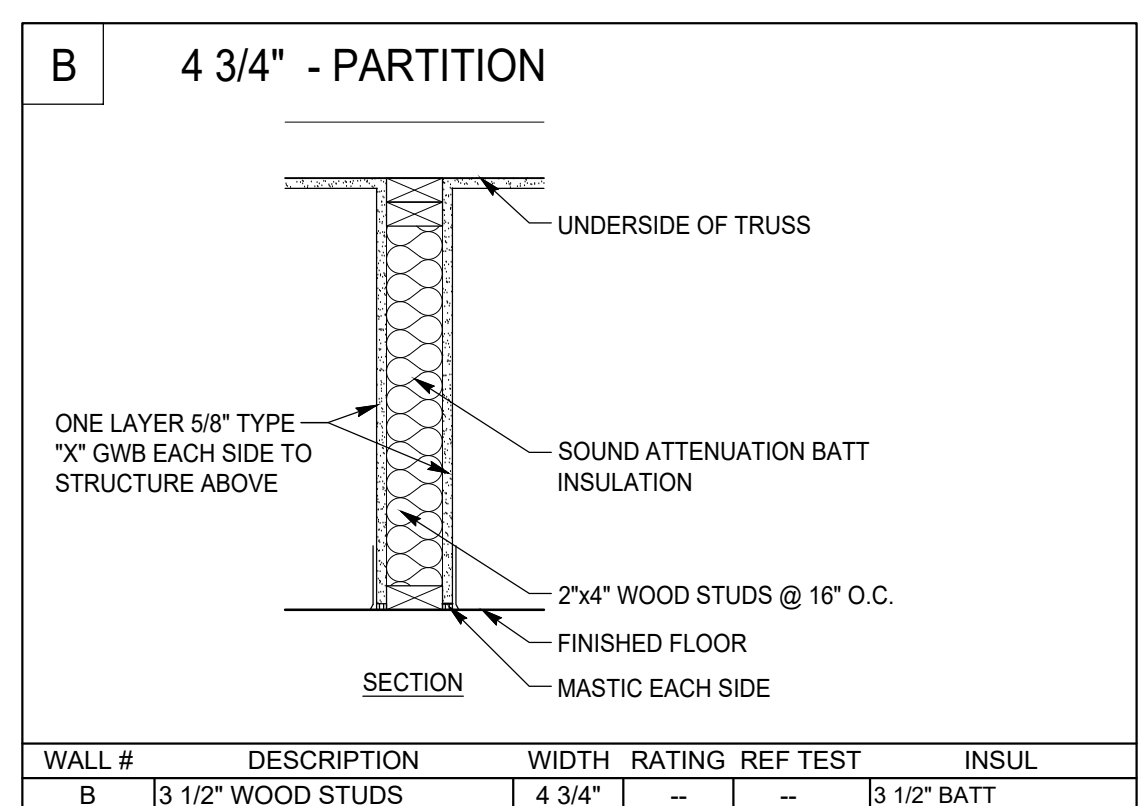
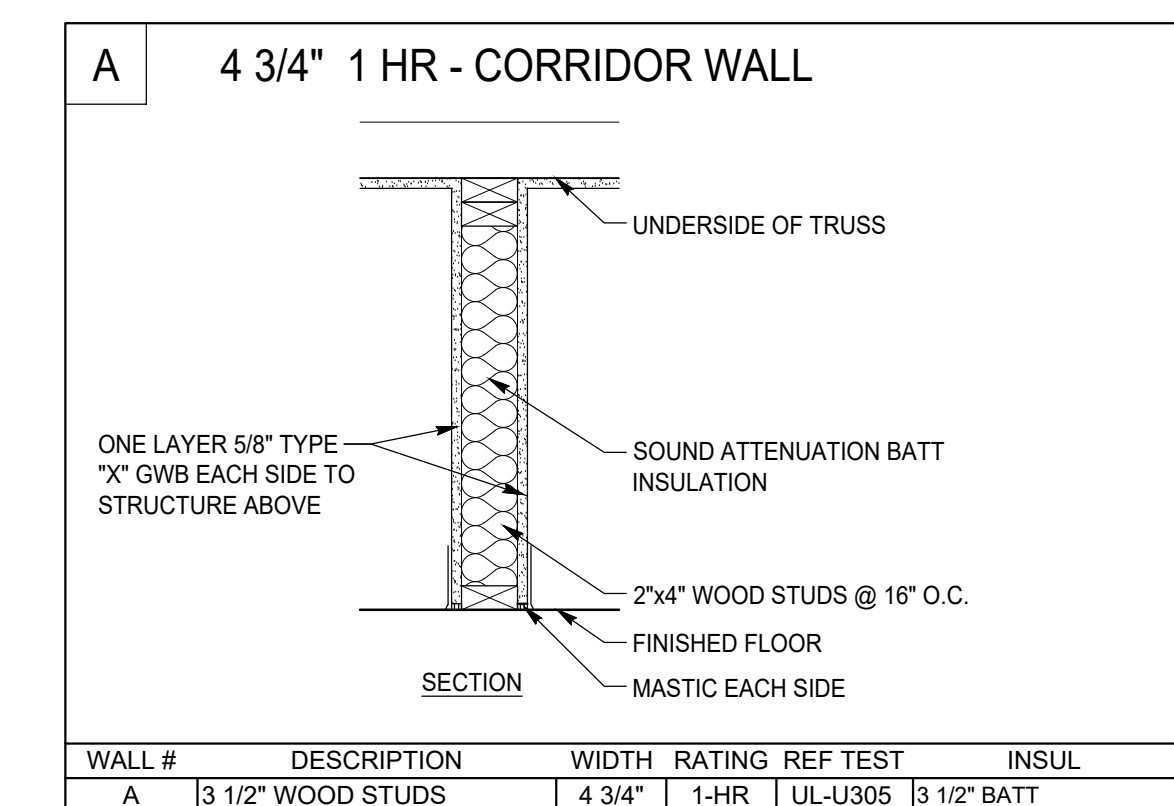
ROOM FINISH SCHEDULE NOTES

- 1 XXXXXXXXXXXX
- 2 XXXXXXXXXXXX

ROOM FINISH LEGEND

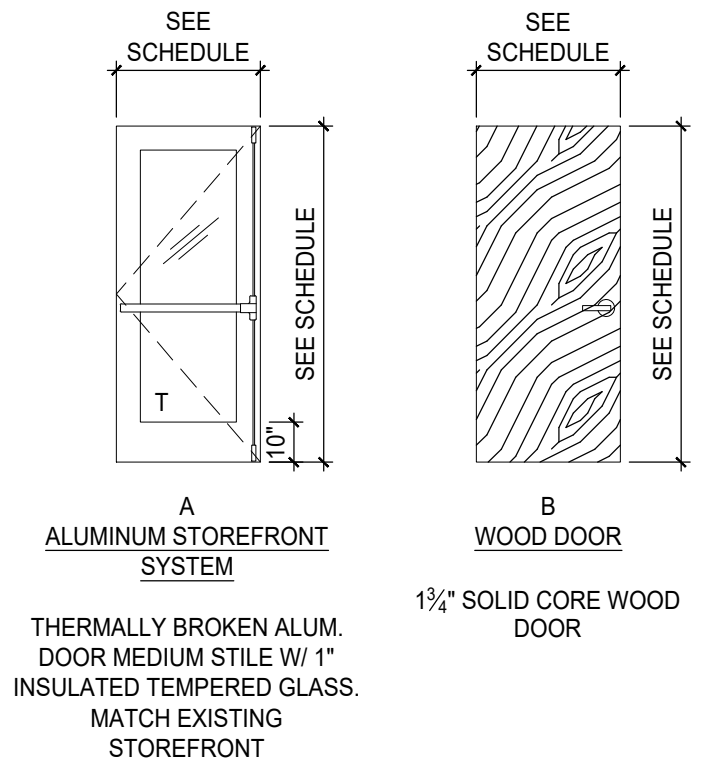
CODE	FINISH	MANUFACTURER/ TYPE	NUMBER	COLOR NAME	NOTES
CPT-1	CARPET	TO BE SELECTED BY OWNER	--	--	--
PT-1	PAINT - WALLS	TO BE SELECTED BY OWNER	--	--	--
PT-2	PAINT - CEILINGS	--	--	--	MATCH EXISTING CEILING
PT-5	PAINT- HM FRAMES	--	--	--	MATCH EXISTING HM DOOR FRAMES
VB-1	VINYL BASE	--	--	--	MATCH EXISTING BASE
WD-1	WOOD DOORS & TRIM	--	--	--	MATCH EXISTING WOOD DOORS AND TRIM

WALL TYPES

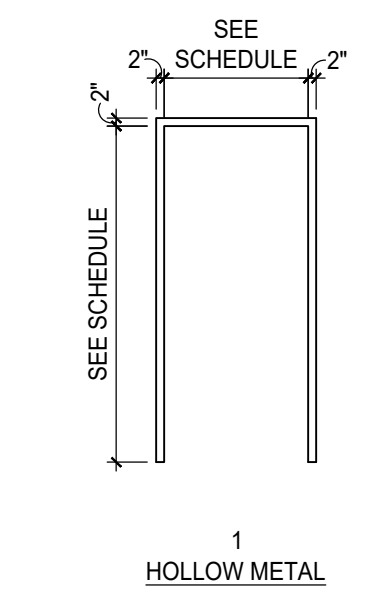


DOOR SCHEDULE														
DOOR NUMBER	DOOR				FRAME			HARDWARE	KEY CODE	DETAILS			RATING (MIN.)	NOTES
	WIDTH x HEIGHT x THICKNESS	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH			HEAD	JAMB	SILL		
100.1	3'-0" x 7'-0" x 1 3/4"	ALUM.	A	ANODIZED	ALUM.	--	ANODIZED	1					--	SEE WINDOW TYPE 3 FOR FRAME TYPE
101.1	3'-0" x 7'-0" x 1 3/4"	WOOD	B	STAIN & VARNISH	H.M.	1	PAINTED	2					20 MIN.	
102.1	3'-0" x 7'-0" x 1 3/4"	WOOD	B	STAIN & VARNISH	H.M.	1	PAINTED	2					20 MIN.	
103.1	3'-0" x 7'-0" x 1 3/4"	WOOD	B	STAIN & VARNISH	H.M.	1	PAINTED	2					20 MIN.	
104.1	3'-0" x 7'-0" x 1 3/4"	WOOD	B	STAIN & VARNISH	H.M.	1	PAINTED	2					20 MIN.	
105.1	3'-0" x 7'-0" x 1 3/4"	WOOD	B	STAIN & VARNISH	H.M.	1	PAINTED	2					20 MIN.	
106.1	3'-0" x 7'-0" x 1 3/4"	WOOD	B	STAIN & VARNISH	H.M.	1	PAINTED	2					20 MIN.	

DOOR TYPES



FRAME TYPES



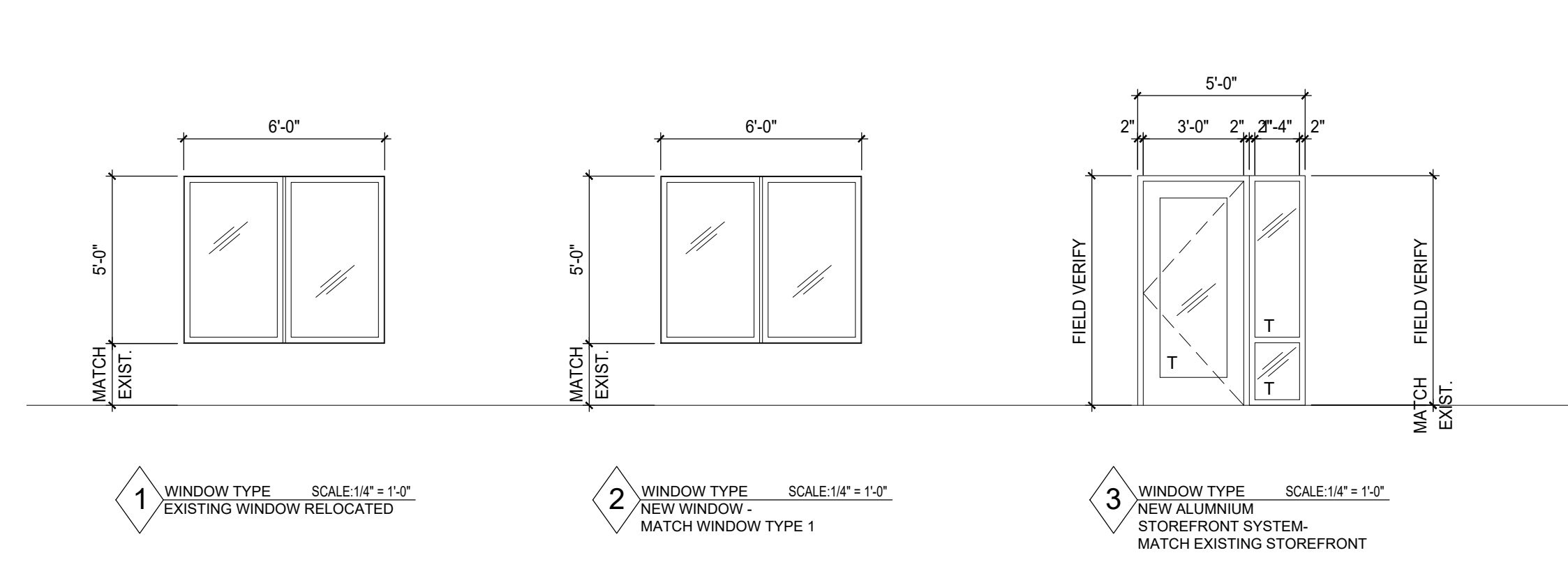
HARDWARE SETS

- HARDWARE SET 1**
BUTTS LOCKSET (EXTERIOR) CLOSER
WEATHER STRIPPING
DOOR SWEEP/THRESHOLD
LATCHGUARD
PANIC HARDWARE
- HARDWARE SET 2**
BUTTS OFFICE LOCKSET STOP

DOOR & FRAME GENERAL NOTES

- HOLLOW METAL FRAMES SHALL BE WELDED AND GROUND FRAMES ONLY, WITH 3 CUSHIONS ON THE LATCH SIDE.
- HOLLOW METAL FRAMES AND SIDELIGHT FRAMES SHALL BE PAINTED, UNLESS NOTED OTHERWISE.
- TYPICAL HOLLOW METAL FRAME TO BE DOUBLE RABBETED WITH 1/2" RETURN ON EACH SIDE.
- GLASS IN SIDELIGHTS AND DOORS SHALL BE 1/4" TEMPERED AT INTERIOR APPLICATIONS, AND 1" INSULATING, TEMPERED AT EXTERIOR APPLICATIONS, UNLESS NOTED OTHERWISE.
- DOORS AND FRAMES AT RATED ASSEMBLIES SHALL MEET ALL CODES AND "UL" REQUIREMENTS AND BE PROPERLY LABELED FOR THE REQUIRED RATING. AIR TRANSFER GRILLS IN RATED DOORS SHALL MEET ALL CODES AND "UL" REQUIREMENTS FOR FUSIBLE LINK SHUTTERS.
- WOOD AND M.D.F. DOORS SHALL BE SOLID-CORE WITH VENEER, UNLESS OTHERWISE NOTED.
- WOOD VS. M.D.F. DOORS SHALL HAVE MATCHING/ SIMILAR WOOD GRAIN, STAIN COLOR AND FINISH.
- PROVIDE WEATHER-STRIPPING, THRESHOLD AND SWEEP AT ALL EXTERIOR DOORS.
- DOOR HARDWARE SHALL BE COMPLIANT W/ CURRENT ACCESSIBILITY CODES, INCLUDING LEVER HANDLE LATCH AND LOCK SETS, AND DELAY ADJUSTABLE CLOSERS AS REQUIRED.
- PROVIDE ASTRALGAL AT DOUBLE DOORS AS REQ'D. PER CODE. CENTER MULLIONS AT DOUBLE DOOR (IF APPLICABLE) ARE TO BE REMOVABLE.
- SEE TYPICAL UNIT PLANS FOR RESIDENTIAL UNIT DOORS
- SEE OVERALL FLOOR PLANS FOR SIMILAR AND OPPOSITE UNIT CONFIGURATIONS.
- SEE OVERALL FLOOR PLANS FOR INTEGRAL SIDELIGHTS &/ OR TRANSOM WINDOW LOCATIONS.
- ALL SLIDE-BY AND BI-FOLD DOOR TRACKS TO BE COVERED W/ 1/4"x M.D.F. (PRE-FINISH) OR WOOD VALANCE TRIM BD. (S&V), TYP.
- 1/2" MAX. THRESHOLD FOR PUBLIC DOORS
- PATIO DOORS TO HAVE MAX. 3/4" THRESHOLD.
- VERIFY ALL LOCKING/ KEYING WITH OWNER
- VERIFY ALL AIR TRANSFER GRILL SIZES & LOCATIONS W/ MECHANICAL CONTRACTOR.

WINDOW TYPES



ELEVATION LEGEND

- VISION GLASS
- T** - TEMPERED GLASS
- WINDOW TYPE

EXTERIOR ELEVATION NOTES

- CONTRACTOR TO FIELD VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION OF FRAMES.
- ALL GLAZING TO BE TEMPERED.
- WINDOW SYSTEM TO BE EXTERIOR GLAZED.
- WINDOW SYSTEM COLOR- TO BE SELECTED.

BID SET - NOT FOR CONSTRUCTION

CAMPBELL CONSTRUCTION OFFICE ADDITION

461 River Crest Court
Mukwonago, WI 53149

NO.	DATE	DESCRIPTION
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PROJECT #: 4192-25

DATE: JULY 30, 2025

SCHEDULES & DETAILS

A8.1

GENERAL NOTES :

FOUNDATION NOTES :

SOL IS ASSUMED TO BE SOFT CLAY, SILTY CLAY OR LOOSE SANDY CLAY. 2,000 P.S.F. NOTIFY ENGINEER IMMEDIATELY IF UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION SO FOOTINGS CAN BE REDESIGNED IF NEED BE.

ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL AT A MINIMUM DEPTH OF 48" BELOW FINISHED GRADE ELEVATION. ADJUST FOUNDATION WALL HEIGHT IF NEED BE ACCORDING TO FINISHED GRADE ELEVATIONS IN THE FIELD.

BACKFILL ALL FOUNDATION WALLS WITH GRAVEL BACKFILL UNDER ALL CONCRETE SLABS & WELL DRAINED SITE SPOILS OR STONE ON THE OUTSIDE. BACKFILL BOTH INSIDE AND OUTSIDE OF WALLS IN EQUAL LFTS. ALLOW CONCRETE TO CURE FOR A MINIMUM OF 7 DAYS PRIOR TO BACKFILL. BACKFILL WITH CARE SO NOT TO DAMAGE OR MOVE FOUNDATION WALLS.

INSULATE FOUNDATION WALLS PRIOR TO BACKFILLING PER ARCHITECTURAL DETAILS AND PLANS. INSULATION TO BE RATED FOR BELOW GRADE INSTALLATION. FASTEN INSULATION TO FOUNDATION WALL PRIOR TO BACKFILL.

CONTRACTOR RESPONSIBLE FOR ANY AND ALL INSPECTIONS THAT ARE REQUIRED BY STATE AND LOCAL ORDINANCES, CODES AND PERMITS.

CONCRETE NOTES :

ALL CONCRETE SHALL OBTAIN A MINIMUM OF 3,000 P.S.I. COMPRESSION STRENGTH @ 28 DAYS. EXTERIOR, EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH A MINIMUM CONTENT OF 6%.

ALL EXTERIOR CONCRETE SHALL PITCH AWAY FROM THE BUILDING/ADDITION PER ARCHITECTURAL PLANS AND DETAILS.

SLAB ON GRADE CONCRETE SHALL HAVE CONTROL JOINTS CUT IN AS SHOWN ON ARCHITECTURAL PLANS AND DETAILS OR A MAXIMUM SIZE OF 12ft x 2ft. JOINTS SHALL BE 1/3 SLAB DEPTH AND CUT WHEN SAW WILL NOT DAMAGE THE CONCRETE OR WITHIN 16 HOURS.

SLAB ON GRADE CONCRETE SHALL HAVE 6" x 6" - W14 x W14 WWM REINFORCING OR HAVE FIBERESH REINFORCING PER MANUFACTURERS SPECIFICATIONS.

SLAB ON GRADE CONCRETE SHALL REST ON MINIMUM OF 6" COMPACTED GRAVEL FILL AND VAPOR BARRIER PER ARCHITECTURAL PLANS AND DETAILS.

REINFORCING STEEL :

ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE C.R.S.I "MANUAL OF STANDARD PRACTICE" - UNLESS NOTED OTHERWISE.

ALL REINFORCING STEEL SHALL BE F_y = 60,000 P.S.I. FREE FROM RUST, GREASE OR ANY OTHER MATERIAL THAT MIGHT COMPROMISE BONDING WITH CONCRETE.

ALL REINFORCING STEEL SHALL OVERLAP A MINIMUM OF 12" AT ALL REBAR JOINTS, MINIMIZE NUMBER OF JOINTS.

STRUCTURAL STEEL NOTES :

ALL STEEL SHALL BE A36, F_y = 36,000 P.S.I. & E = 29,000,000 P.S.I.

ALL STEEL ANGLE LINTELS SHALL REST A MINIMUM OF 4" ON THE MASONRY WALL EITHER SIDE OF MASONRY OPENING. IF ANGLE LEGS ARE NOT EQUAL THE LONGER LEG SHALL BE INSTALLED VERTICAL.

WOOD CONSTRUCTION NOTES :

ALL LINEAL MATERIAL, SHOULDER STUDS, BLOCKING AND BRACING SHALL BE S-P-F #2 OR BETTER. ALL WOOD STUDS SHALL BE STANDARD STUD GRADE OR BETTER. ALL MICRO-LAM OR LVL MATERIAL SHALL BE F_b = 2,600 P.S.I. & E = 2,000,000 P.S.I. MINIMUM.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

ALL WOOD PLATES SHALL BE ANCHORED TO THE FOUNDATION WALLS WITH MINIMUM OF 1/2" DIA. HOOK BOLTS WITH FACTORY SUPPLIED NUTS AND WASHERS UNLESS NOTED OTHERWISE. ANCHOR BOLTS SHALL BE SPACED WITHIN 2FT OF ALL CORNERS AND DOOR OPENINGS, MAXIMUM SPACING OF ANCHOR BOLTS TO BE 6ft O.C.

ALL EXTERIOR WALL SHEATHING SHALL BE 1/2" EXTERIOR GRADE O.S.B. 32/16 SPAN RATING MINIMUM. INSTALLED VERTICALLY WITH JOINTS CENTERED ON WALL STUD.

ALL EXTERIOR WALL FRAMING SHALL BE 2x6 WOOD STUDS @ 16" O.C. MAXIMUM.

ALL OPENINGS UNDER 6ft SHALL HAVE A SINGLE SHOULDER STUD MINIMUM AND OPENINGS 6ft AND OVER SHALL HAVE A DOUBLE SHOULDER STUD MINIMUM - UNLESS NOTED OTHERWISE.

ALL WALLS SHALL HAVE PRESSURE TREATED BOTTOM PLATES AND STANDARD WOOD DOUBLE TOP PLATES. ALL JOINTS IN THE PLATES SHALL BE CENTERED ON A STUD AND STAGGERED A MINIMUM OF 8ft APART FOR DOUBLE TOP PLATE JOINTS.

ALL TOP PLATES SHALL OVERLAP THE PLATE BELOW AT ALL WALL CORNERS AND WALL T'S.

ALL WALLS SHALL BE BRACED AS NEEDED BOTH INSIDE AND OUT UNTIL ALL ROOF FRAMING IS COMPLETE INCLUDING ALL ROOF SHEATHING INSTALLATION.

ALL ROOF TRUSSES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS INCLUDING BUT NOT LIMITED TO BRACING, BRIDGING, WEB STIFFENERS AND SPACING.

ALL PREMANUFACTURED ROOF TRUSSES SHALL BE DESIGNED AND ENGINEERED BY THE TRUSS MANUFACTURER. TRUSS MANUFACTURER IS RESPONSIBLE FOR ALL DRAWINGS, DESIGN AND ENDORSED ENGINEERING CALCULATIONS FOR SUBMITTAL TO ENGINEER OF RECORD FOR STATE SUBMITTAL PRIOR TO INSTALLATION. TRUSS DRAWINGS SHALL BE KEPT ON SITE DURING AND AFTER INSTALLATION FOR ARCHITECT, ENGINEER AND INSPECTORS REFERENCE.

TRUSS MANUFACTURER AND GENERAL CONTRACTOR RESPONSIBLE FOR ALL FIELD WORK AS REQUIRED TO PRODUCE A COMPLETE AND PROFESSIONAL FINISHED PRODUCT PRIOR TO THE FABRICATION OF ANY ROOF TRUSSES.

ROOF SHEATHING SHALL BE SUPPORTED MID-SPAN OF ROOF TRUSSES WITH "H-CLIPS", 1 PER TRUSS SPACE AND EVERY HORIZONTAL ROOF SHEATHING JOINT.

MASONRY/BRICK NOTES :

ALL BRICK MASONRY UNITS SHALL BE FOR EXTERIOR GRADE INSTALLATION. BRICK SHALL HAVE CONTROL JOINTS, SPACED AS SHOWN ON ARCHITECTURAL PLANS OR PER BRICK SUPPLIERS SPECIFICATIONS.

ALL BRICK MORTAR SHALL BE TYPE N, WITH A MINIMUM COMPRESSIVE STRENGTH OF 750 P.S.I. CORRUGATED, GALVANIZED BRICK TIES SHALL BE INSTALLED @ 1 TIE PER EVERY 2 SF. MINIMUM.

BRICK SHALL BE INSTALLED PER ARCHITECTURAL PLANS AND DETAILS.

NAILING SCHEDULE :

ALL NAILING SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS IN BOTH NAIL SIZE AND NAIL SPACING. THE FOLLOWING IS A RECOMMENDED NAILING MINIMUM UNLESS PRODUCT SPECIFICATIONS ARE DIFFERENT.

STUD TO PLATE CONNECTION : MINIMUM OF 0.81" x 3 1/4" GUN NAIL, 3 PER STUD.

PLATE TO PLATE CONNECTION : MINIMUM OF 0.81" x 3 1/4" GUN NAIL, 3 PER STUD LOCATION

EXTERIOR WALL SHEATHING : GALVANIZED 0.13" x 2 3/8" RING SHANK GUN NAILS, 6" O.C. @ PERIMETER AND 12" O.C. @ PANEL FIELD.

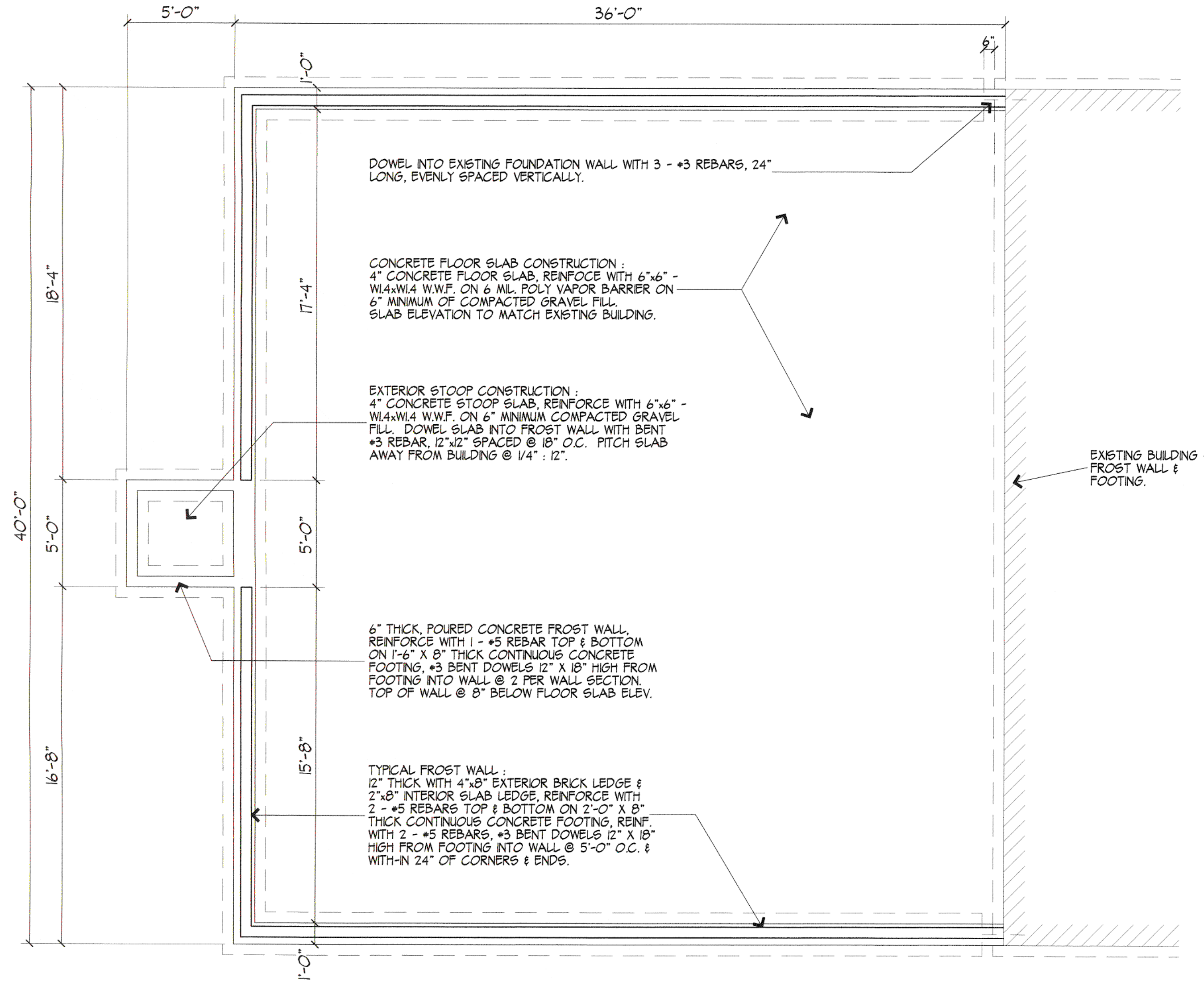
ROOF SHEATHING : GALVANIZED 0.13" x 2 3/8" RING SHANK GUN NAILS, 6" O.C. @ PERIMETER AND 12" O.C. @ PANEL FIELD.

BLOCKING AND BRACING : MINIMUM OF 2 - 0.81" x 3 1/4" GUN NAILS PER CONNECTION POINT FOR 2x4 MATERIAL AND 3 - 0.81" x 3 1/4" GUN NAILS PER CONNECTION FOR LARGER MATERIAL.

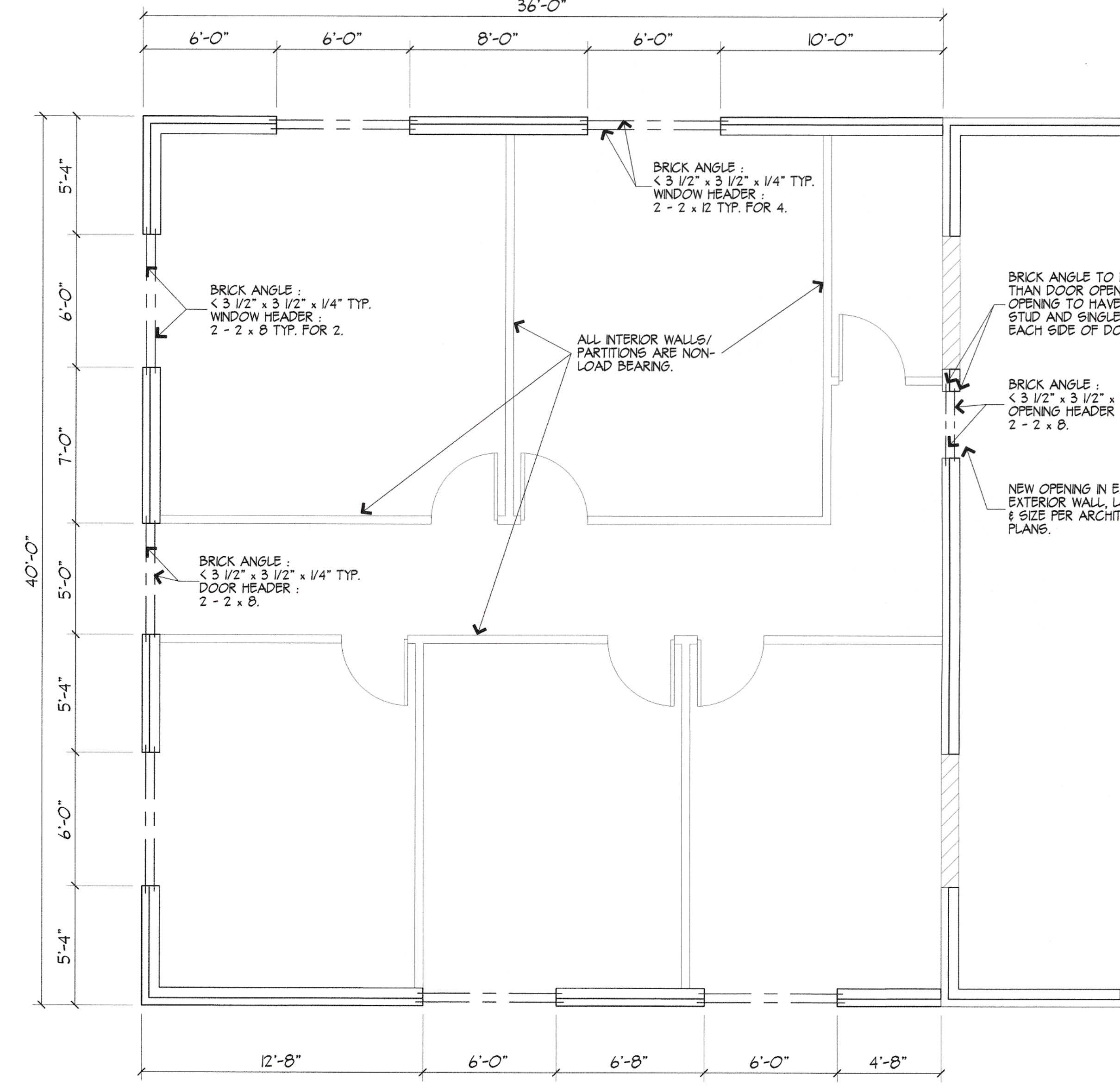
HANGERS : PER MANUFACTURERS SPECIFICATIONS/REQUIREMENTS

TRUSS HOLD-DOWNS : PER MANUFACTURERS SPECIFICATIONS/REQUIREMENTS OR ALTERNATE OF SIMPSON STRONG-DRIVE SDWC1600, - PER TRUSS INSTALLED PER MANUFACTURERS SPECIFICATIONS.

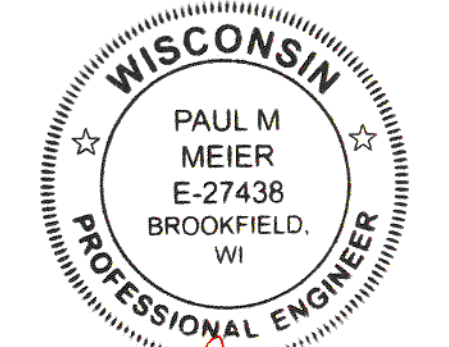
FASCIA BOARD : 2 - 0.81" x 3 1/4" GUN NAIL.



FOOTING & FOUNDATION PLAN
SCALE : 1/4" = 1'-0"



FLOOR PLAN WITH HEADERS
SCALE : 1/4" = 1'-0"



Paul M. Meier P.E.
07/22/2025

PAGE 1
GENERAL NOTES, FOOTING & FOUNDATION PLAN & FLOOR PLAN WITH HEADERS

PAGE 2
WALL DETAILS/SECTIONS, ROOF FRAMING PLAN & WALL BRACING PLAN.

PAUL MEIER INC.
1585 VALLEY RIDGE DRIVE
BROOKFIELD, WISCONSIN 53005
PHONE : (414) 581-0003

PROPOSED ADDITION FOR :
CAMPBELL CONSTRUCTION - OFFICE ADDITION
461 RIVER CREST COURT
MUKWONAGO, WI 53147

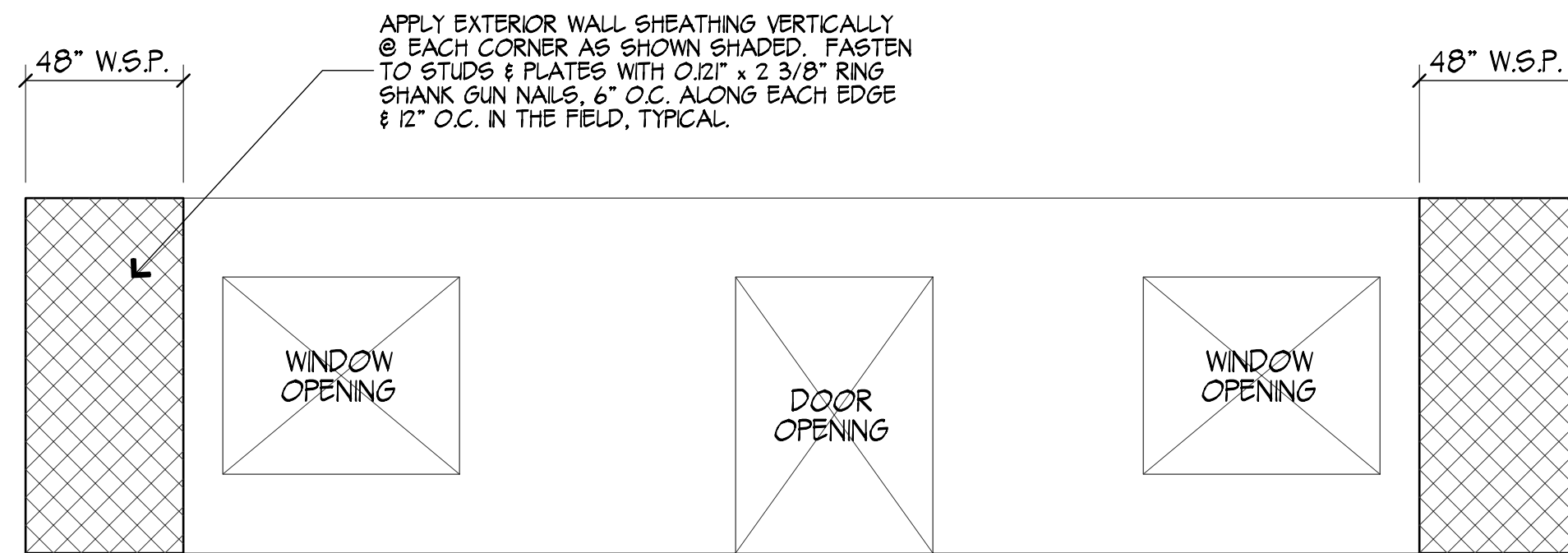
DRAWN BY
P.M.M. - P.E.

DATE
JULY 21, 2025

SCALE
1/4" = 1'-0"

JOB NUMBER
2025-59

SHEET



WIND BRACING - NORTH ELEV.

SCALE : 1/4" = 1'-0"



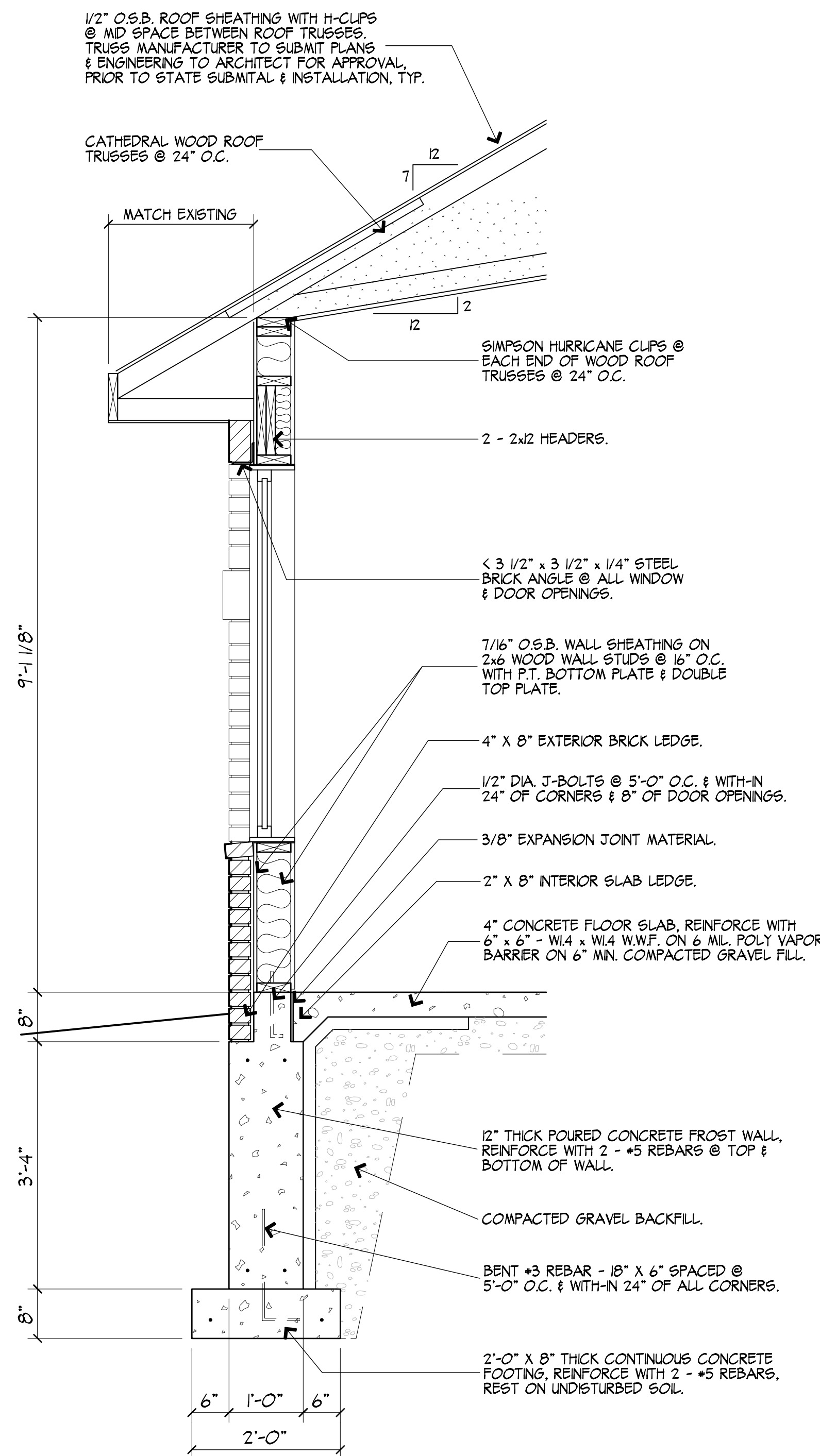
WIND BRACING - EAST ELEV.

SCALE : 1/4" = 1'-0"

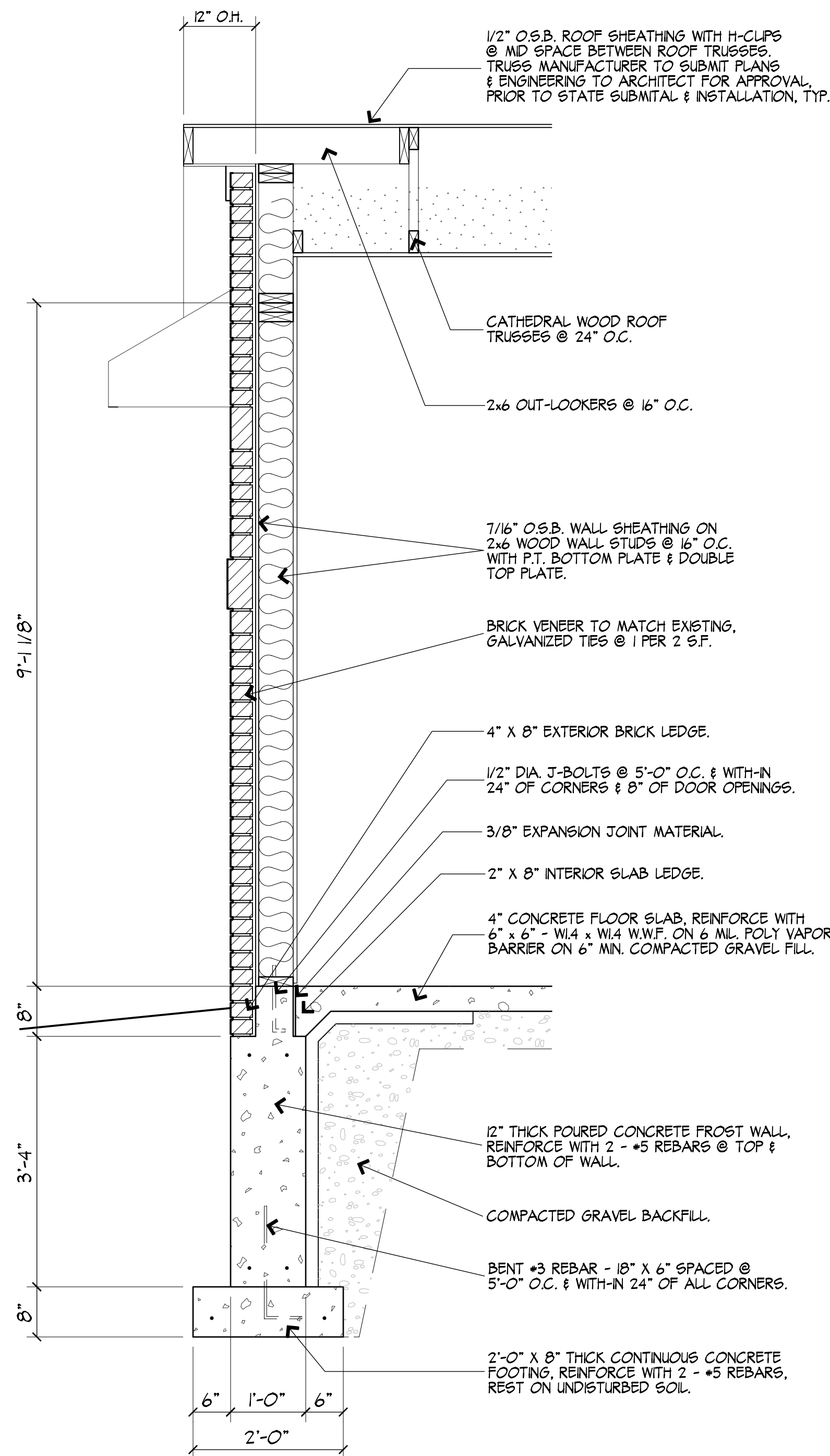


WIND BRACING - WEST ELEV.

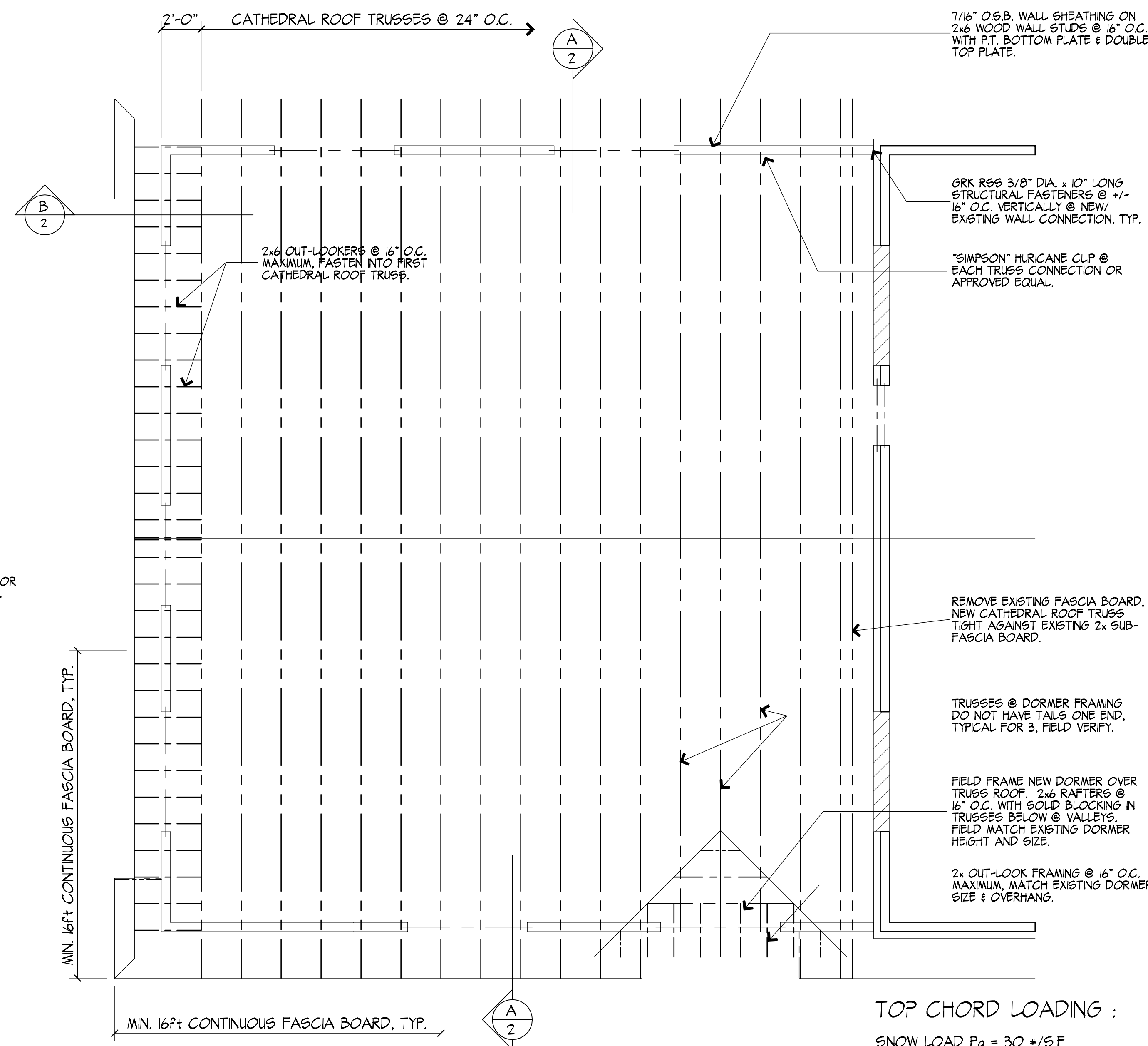
SCALE : 1/4" = 1'-0"



(A) LOAD BEARING WALL SECTION
SCALE : 3/4" = 1'-0"



(B) NON-LOAD BEARING WALL SECTION
SCALE : 3/4" = 1'-0"



ROOF FRAMING PLAN
SCALE : 1/4" = 1'-0"

TOP CHORD LOADING :
SNOW LOAD $P_g = 30 \text{ #/S.F.}$
ARCHITECTURAL SHINGLES = 10 #/S.F.
ROOF SHEATHING = 2 #/S.F.

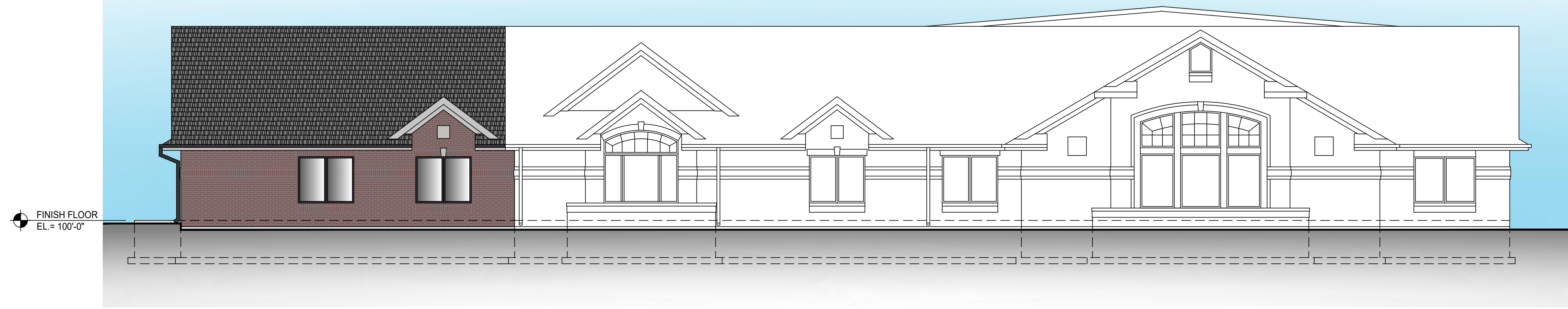
BOTTOM CHORD LOADING :
CEILING LOADING = 2 #/S.F.
INSULATION = 3 #/S.F.
MISC. MECHANICAL = 3 #/S.F.

PAUL MEIER INC.
1585 VALLEY RIDGE DRIVE
BROOKFIELD, WISCONSIN 53005
PHONE : (414) 581-0003

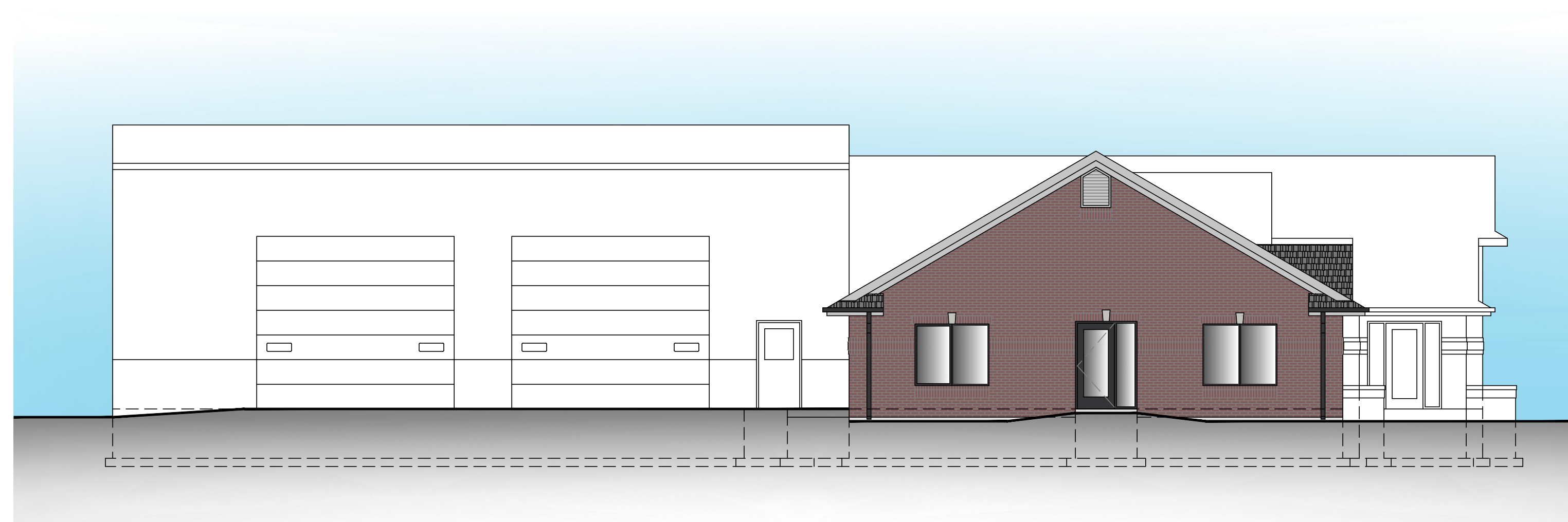
PROPOSED ADDITION FOR :
CAMPBELL CONSTRUCTION - OFFICE ADDITION
461 RIVER CREST COURT
MUKWONAGO, WI 53149

DRAWN BY
P.M.M. - P.E.
DATE
JULY 21, 2025
SCALE
VARIES
JOB NUMBER
2025-59
SHEET

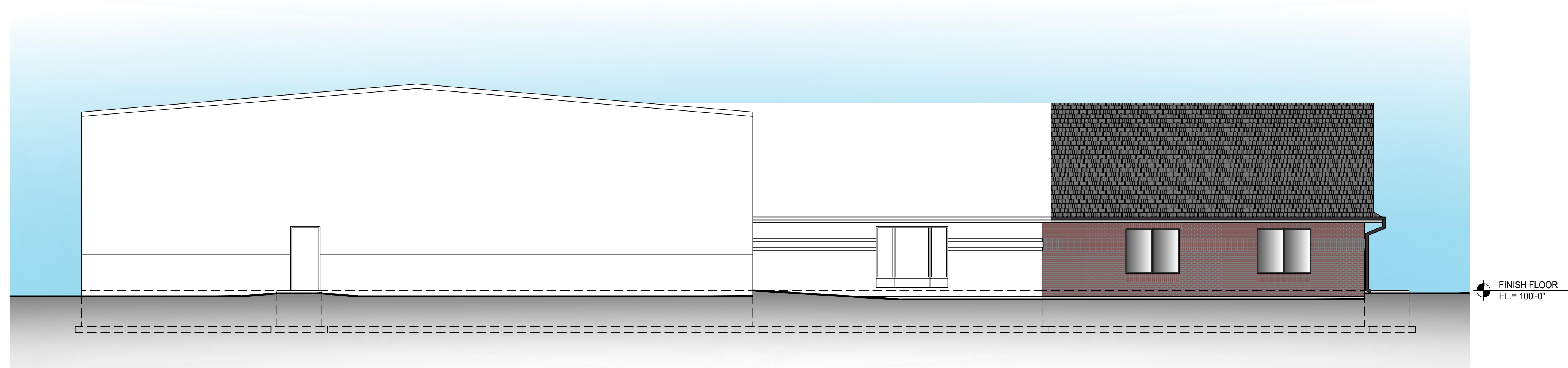
2
OF 2



1 WEST ELEVATION SCALE: 1/8" = 1'-0"



2 WEST ELEVATION SCALE: 1/8" = 1'-0"



3 EAST ELEVATION SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

ROOF SHINGLES	MATCH EXISTING
BRICK VENEER	MATCH EXISTING
GUTTERS AND DOWNSPOUTS	MATCH EXISTING
PAINT	MATCH EXISTING
GLASS	MATCH EXISTING

CAMPBELL CONSTRUCTION OFFICE ADDITION
461 River Crest Court
Mukwonago, WI 53149

NO.	DATE	DESCRIPTION
△		
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PROJECT #: 4192-25

DATE: JANUARY 09, 2026

EXTERIOR ELEVATIONS

A2.1

PLANNING COMMISSION RESOLUTION #2026-02

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax Incremental District No. 7

RECOMMENDED ADOPTION OF THE PROJECT PLAN AND BOUNDARIES FOR TAX INCREMENTAL DISTRICT NO. 7 VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

WHEREAS, pursuant to Wisconsin Statutes §66.1105 the Village of Mukwonago has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the Village; and

WHEREAS, Tax Incremental District No. 7 (“the district”) is proposed to be created as a “Mixed-Use District” pursuant to Wisconsin Statutes §66.1105(cm) indicating “mixed-use development” means development that contains a combination of industrial, commercial, or residential uses, except that lands proposed for newly platted residential use, as show in the project plan, may not exceed 35 percent, by area, of the real property within the district.

WHEREAS, a Project Plan for Tax Incremental District No. 7 has had been prepared that includes the following:

1. A statement listing the kind, number, and location of proposed public works or improvements within the district.
2. An economic feasibility study.
3. A detailed list of estimated projects costs.
4. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred.
5. A map showing existing uses and conditions of real property in the district.
6. A map showing proposed improvements and uses in the district.
7. Proposed changes of zoning ordinance, master plan, map, building codes, and Village Ordinances.
8. A statement of the proposed method for relocation of any person to be displaced.
9. A statement indicating how creation of the district promotes the orderly development of the Village.
10. A list of estimated non-projects costs.
11. A section for the eventual insertion of a legal description.
12. A section for the eventual insertion of An Opinion of the Village Attorney advising that the plan is complete and complies with Wis. Statute §66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of the public hearing by the Plan Commission was sent to the Village of Mukwonago, Waukesha County, the School District, and Technical College which constitutes all the local governmental entities having the power to levy taxes on property located within the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 10, 2026, held a public hearing concerning the project plan and boundaries and proposed creation of the district providing interested

PLANNING COMMISSION RESOLUTION #2026-02

Resolution Formally Adopting Proposed Project Plan and Boundaries for Tax Incremental District No. 7

parties a reasonable opportunity to express their views on the proposed creation of a tax incremental district and the proposed boundaries of the district.

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Mukwonago that:

1. It recommends to the Village Board that Tax Incremental District No. 7, Village of Mukwonago, be created with boundaries as designated by Exhibit A, which is attached and incorporated herein by reference.
2. It approves the Project Plan as prepared by Robert W. Baird & Co, dated February 10, 2026, which is incorporated herein in its entirety by reference, and recommends its approval to the Village Board.
3. Creation of the District promotes orderly development in the Village; and
4. That the Village Clerk is hereby directed to provide the Village Board with a certified copy of this Resolution upon its adoption by the Plan Commission.

Adopted on this 10th day of February 2026

Village of Mukwonago

By _____
Fred H Winchowky., Plan Commission Chairman

CERTIFICATION

I hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the Village of Mukwonago on the 10th day of February.

Shay Zerfas
Village of Mukwonago
Deputy Clerk-Treasurer

Project Plan & District Boundary
Tax Incremental District No. 7
in the
VILLAGE OF MUKWONAGO, WISCONSIN



February 10, 2026

(Approved Actions)

Organizational Joint Review Board Meeting Held	January 15, 2026
Public Hearing Held	February 10, 2026
Adopted by Planning Commission	February 10, 2026
Adopted by Village Board	March 18, 2026
Adopted by Joint Review Board	March 30, 2026

Prepared in part by:



Robert W. Baird & Co.
Public Finance
777 E. Wisconsin Ave.
Milwaukee, WI 53202
800.792.2473

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Section 1: Village of Mukwonago Officials

Village Board

Fred Winchowky	Village President
Dale Porter	Village Trustee
Eric Brill	Village Trustee
Scott Reeves	Village Trustee
Darlene Johnson	Village Trustee
John Meiners	Village Trustee
Ken Johnson	Village Trustee

Village Staff

Diana Dykstra	Village Administrator
Lana C Kropf	Village Clerk/Treasurer
Diana Doherty	Finance Director
Nathan Bayer	Village Attorney

Planning Commission

Fred H Winchowky, Chairperson	Eric Brill
John Meiners	Tim Rutenbeck
Jason Wamser	Karl Kettner
Vacant	

Joint Review Board

Fred H Winchowky	Village Representative- Chairperson
Andrew Thelke	Waukesha County
Kristine Golz	Technical College District Representative
Tom Karthausser	School District Representative
James Decker	Citizen Member

Section 2: Introduction and Description of District

The Village plans to use Tax Incremental Financing (“TIF”) as a successful economic development programming tool by providing public improvements and development incentives to encourage and promote residential and commercial development. The goal is to increase the tax base, to create and enhance economic opportunities, and to increase commercial and residential options within the Village. The Village works with developers and property owners to provide infrastructure improvements and incentives for development. Public infrastructure and property improvements will be financed by a combination of TIF increments and debt financing.

Tax Increment District (“TID”) No. 7 contains approximately 44.34 acres. It includes land on either side of North Rochester Road and encompasses a portion of W Veterans Way. The TID is being created as a “Mixed-Use District” based on the identification and classification of the property proposed to be included in the TID. The maximum life (absent extension) of the TID is 20 years from the date of adoption.

Tax incremental financing is being proposed for new commercial development on the vacant land owned by the Kiwanis Club and property owned by DC Properties LLP as well as the possibility for future residential development behind the current animal hospital property. The proposed and potential new developments will generate additional property taxes (tax increment) that will be used to offset the cost of the public investments resulting from, or needed by, the new developments.

Public improvements within TID #7 also include the extension of new streets, DOT improvements, and utilities, improvements to the Kiwanis Development and the Marshview Drive Development. Planned or potential development projects are detailed in the Statement of Kind, Number and Location of Proposed Projects section of this project plan.

The Village anticipates various public improvement project cost expenditures of approximately \$3,450,000 plus financing/interest costs during the TID’s 15-year expenditure period. Proposed public project improvements may include but are not limited to developer incentives in the form of cash grants or TID loans, professional and organizational services, administrative costs, and finance costs.

As a result of the creation of this TID, the Village projects a preliminary and conservative cash flow analysis indicating \$7,061,336 in increments. The TID increment will primarily be used to pay the debt service costs of the TID, and potential project development incentives. The increment will also be used for

Village of Mukwonago
TID #7 Project Plan & District Boundary

improvements to streets and improvements within the vicinity of the district. The Village projects land and improvement values (incremental value) of approximately \$35,000,000 will be created in the TID by the end of 2037. This additional value will be a result of the improvements made and projects undertaken within the TID. Maps depicting the boundaries and existing uses and conditions of the TID are found in the respective mapping sections of this project plan.

Section 3: Summary of Findings

As required by s.66.1105 Wis. Stats., and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this TID, the development projected as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the Village. In making this determination, the Village has considered the following information:
 - Development within the TID has not occurred at the pace anticipated by the Village. Infrastructure and other development related expenses are not likely to be borne exclusively by private developers; therefore, the Village has concluded that public investment will be required to fully achieve the Village’s objectives for this area.
 - To achieve its objectives, the Village has determined that it must take an active role in encouraging development by making appropriate public expenditures in the area. Without the availability of tax increment financing, these expenditures are unlikely to be made. Enhancement of this area will complement existing venues in the Village, and benefit not only the Village, but all overlapping taxing jurisdictions. Accordingly, the costs to implement the needed projects and programs are appropriately funded through tax increment financing.
 - To make the area included within the TID suitable for development, the Village will need to make a substantial investment to pay costs of some, or all the projects listed in the project plan and to maintain a rent structure that does not exceed the upper end of market levels. Due to the public investment that is required, the Village has determined that development of the area will not occur at the pace or levels desired solely because of private investment.

Village of Mukwonago
TID #7 Project Plan & District Boundary

2. The economic benefits of the Tax Incremental District, as measured by increased property values, are sufficient to compensate for the cost of the improvements. In making this determination, the Village has considered the following information:

As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected and the debt issuance will be more than sufficient to pay for the proposed project costs. On this basis alone, the finding is supported.

3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. Since the development expected to occur is unlikely to take place without the use of Tax Incremental Financing (see Finding #1) and since the TID will generate economic benefits that are more than sufficient to compensate for the cost of the improvements (see Finding #2), the Village reasonably concludes that the overall benefits of the TID outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the "but for" test is satisfied, there would, in fact, be no foregone tax increments to be paid in the event the TID is not created.
4. The improvements to be made within the TID are likely to significantly enhance the value of substantially all other real property in the Village surrounding the TID.
5. The equalized value of taxable property of the TID does not exceed 12% of the total equalized value of taxable property within the Village.
6. The Project Plan for the TID is feasible and is in conformity with the master plan of the Village.
7. The Village estimates less than 35% of the territory within the district will be devoted to retail business at the end of the district's maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b).
8. The Village confirms 7.59% percent of the district exclusive of street right of way is land proposed for newly platted residential development adhering to the statute compliance requirement of being less than 35%. Residential housing will have a density of at least three units per acre or will be a conservation subdivision.

**Village of Mukwonago
TID #7 Project Plan & District Boundary**

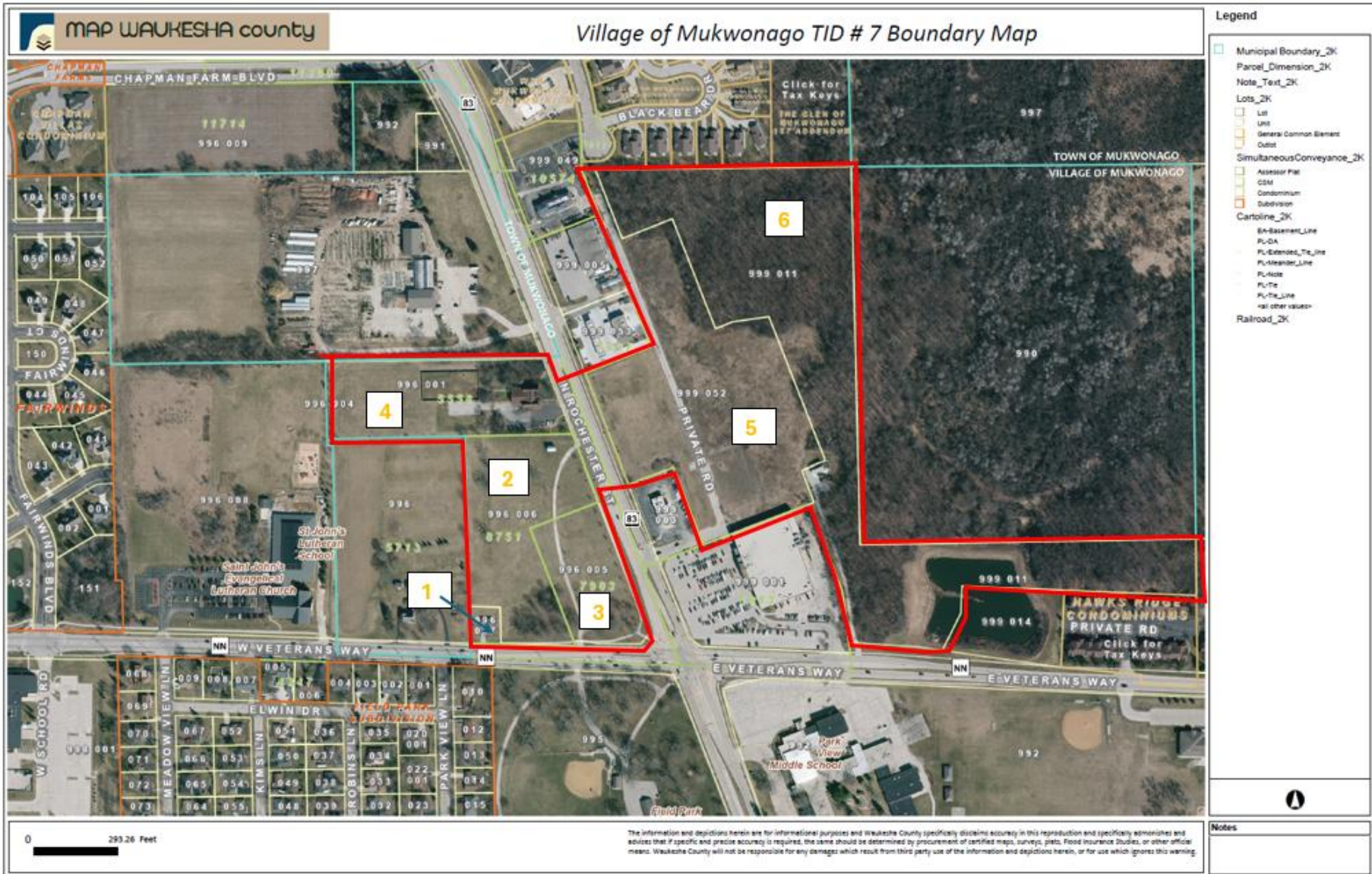
Newly Platted Residential Calculation					
Map ID	Tax Key	Property Address	Property Owner	Property Class	Acres
4	MUKV1963996001	1065 N Rochester Street	MAH Property LLC	Agricultural	3.365
Total Proposed Acreage of TID 7					44.34
Newly Platted Residential Percentage					7.59%

- The TID is being created as a Mixed-Use District. This project plan has met the definition and requirements for a Mixed-Use District. Not less than 50% of the proposed district's area land is suitable for industrial, commercial, and residential use.

Village of Mukwonago
TID #7 Project Plan & District Boundary

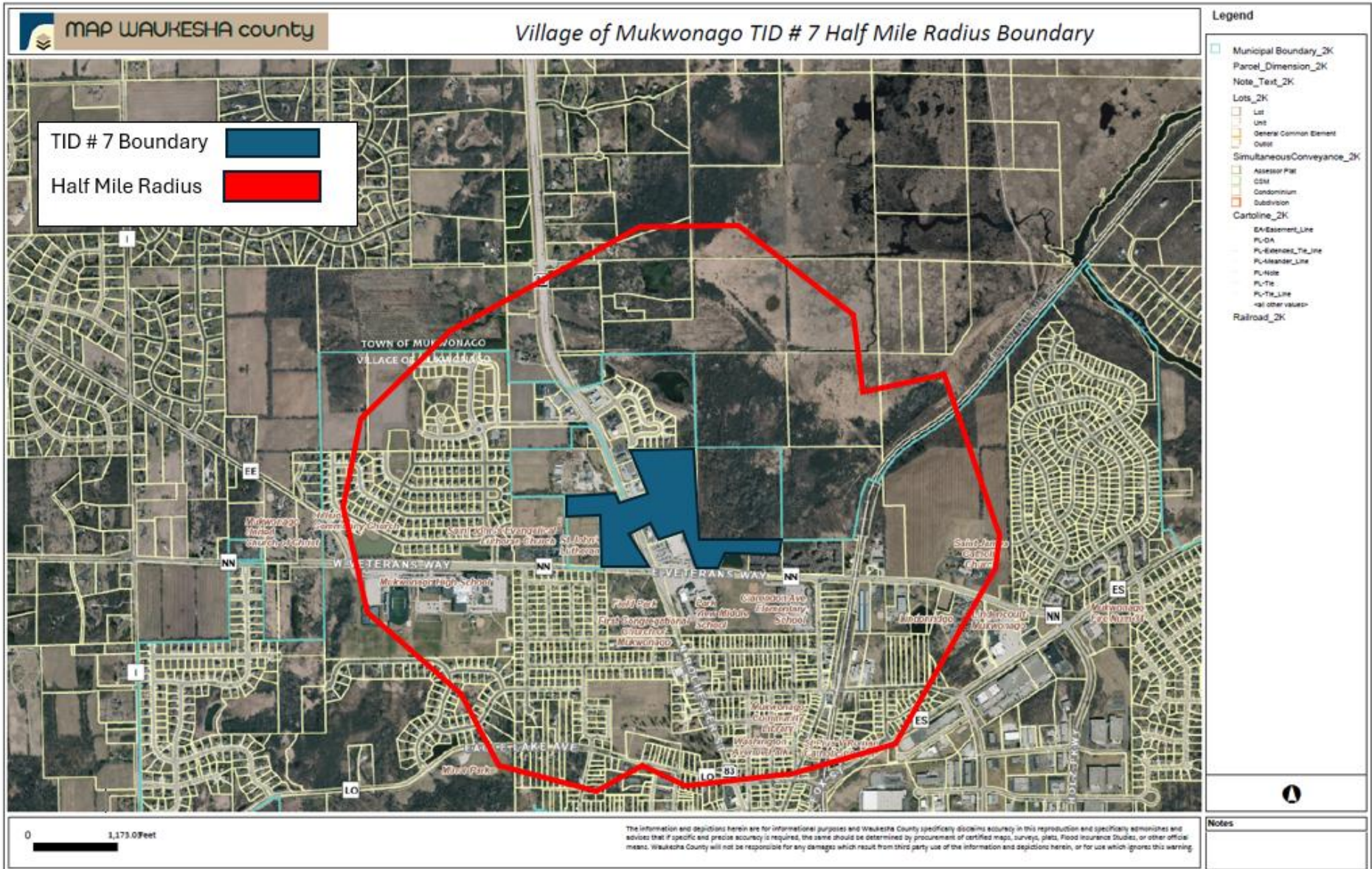
Section 4: Map of Proposed District Boundary

The Map below is reflective of the 01/01/2026 parcel list.

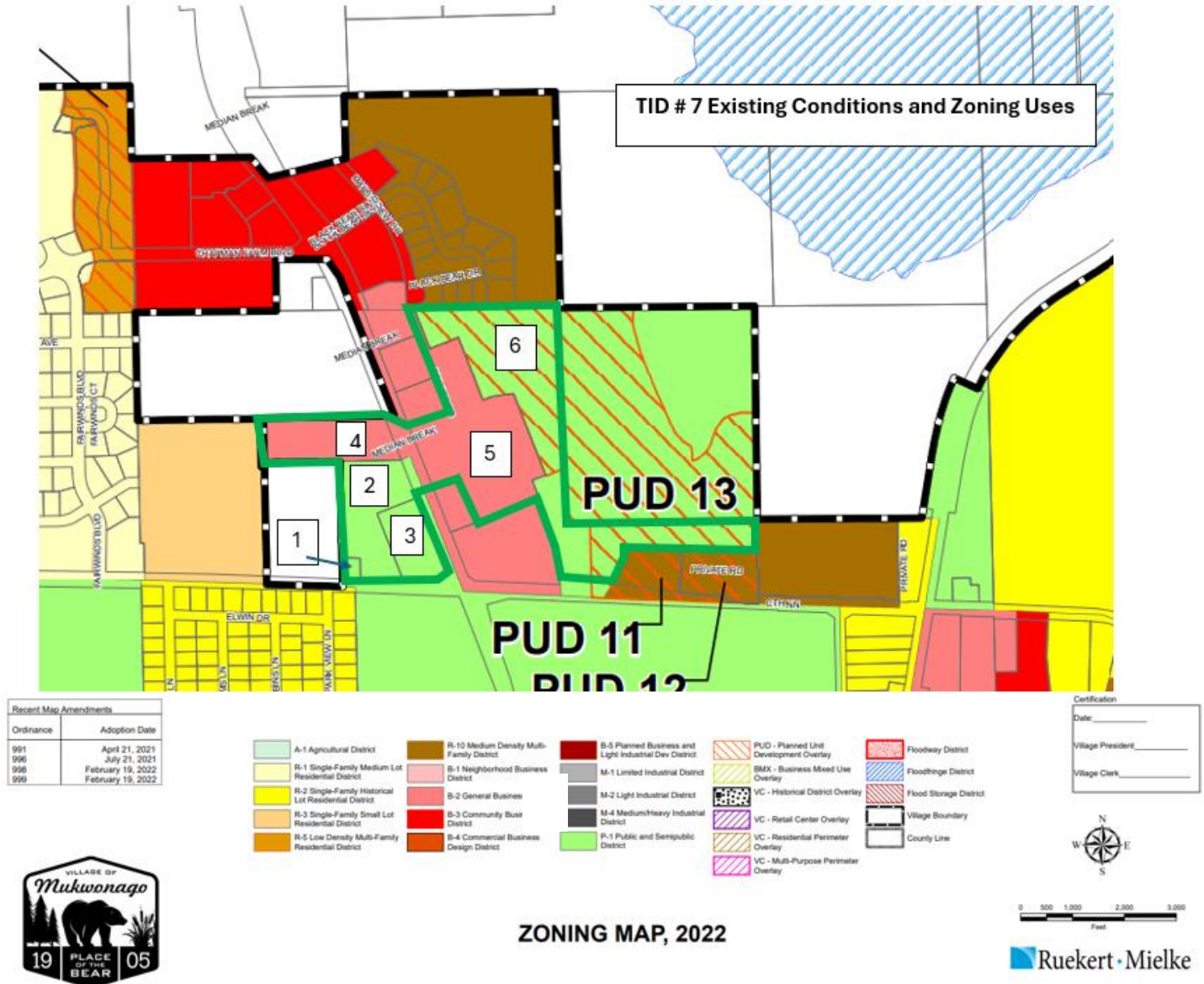


Village of Mukwonago
TID #7 Project Plan & District Boundary

Section 5: One Half Mile Radius Map of Proposed District Boundary



Section 6: Map Showing Existing Uses and Conditions



**Village of Mukwonago
TID #7 Project Plan & District Boundary**

Section 7: Parcels List and Analysis

As of the 01/01/2026 parcel list.

Map ID	Tax Key	Property Address	Property Owner	Property Class	Acres	Land	Improvement	Total Assessed Value	Estimated Equalized Value
1	MUKV1963996007	County Road NN	Village of Mukwonago	Exempt Local	0.33	\$ -	\$ -	\$ -	\$ -
2	MUKV1963996006	N/A	Kiwanis Club	Exempt Other	5.429	\$ -	\$ -	\$ -	\$ -
3	MUKV1963996005	N/A	Mukwonago Kiwanis	Exempt Other	3	\$ -	\$ -	\$ -	\$ -
4	MUKV1963996001	1065 N Rochester Street	MAH Property LLC	Commercial	1.665	\$ 639,500.00	\$ 581,100.00	\$ 1,220,600.00	\$ 1,222,200.00
4	MUKV1963996001	1065 N Rochester Street	MAH Property LLC	Agricultural	3.365	\$ 1,400.00	\$ -	\$ 1,400.00	\$ -
5	MUKV1963999052	N Rochester Street	DC Properties LLP	Commercial	11.948	\$ 1,098,500.00	\$ -	\$ 1,098,500.00	\$ 1,098,700.00
6	MUKV1963999011	N/A	Village of Mukwonago	Exempt Local	18.603	\$ -	\$ -	\$ -	\$ -
GRAND TOTALS					44.34	\$ 1,739,400.00	\$ 581,100.00	\$ 2,320,500.00	\$ 2,320,900.00

Section 8: Equalized Valuation Test

The following calculations demonstrate that the Village is in compliance with s.66.1105(4) (gm)4. c. Wis. Stats., which requires that the equalized value of the taxable property in the proposed TID, plus the value increment of any existing Tax Incremental Districts, does not exceed 12% of the total equalized value of taxable property within the Village. With TID #7, the value increment of all existing Tax Increment Districts will be approximately **10.62%**.

Valuation Test Compliance Calculation

2025 Equalized Valuation (TID IN)	\$ 1,615,595,700
Limit for 12% Test	\$ 193,871,484
Increment Value of Existing TIDs	\$ 169,241,000
Projected Base Value of New TID	<u>\$ 2,320,900</u>
Total Value Subject to Test	\$ 171,561,900
Compliance (\$171,561,900 < \$193,871,484)	Meets Requirement

Section 9: Statement of Kind, Number and Location of Proposed Projects

The Village expects to implement the following public project improvements. Any costs including eligible administrative costs necessary or convenient to the creation of the district or directly or indirectly related to the public works and other projects are considered "project costs" and eligible to be paid with tax increment revenues of the TID.

1. STREET, SIDEWALK, AND UTILITY IMPROVEMENTS FOR MARSHVIEW DRIVE

LOCATION: Marshview Drive and within ½ Mile TID Radius

TOTAL: \$2,650,000

DESCRIPTION: The Village of Mukwonago intends to finance infrastructure improvements serving development at the north end of the TID for the completion of Marshview drive. The improvements may include new streets, sidewalks, sanitary sewer, water, storm sewer/stormwater ponds, and other improvements.

Village of Mukwonago
TID #7 Project Plan & District Boundary

2. STREET/UTILITY IMPROVEMENTS FOR KIWANIS DEVELOPMENT

LOCATION: Kiwanis Vacant Land, County NN, and within ½ mile TID radius

TOTAL: \$800,000

DESCRIPTION: The Village of Mukwonago intends to finance infrastructure improvements services the Kiwanis development. The improvements may include new streets, sidewalks, sanitary sewer, water, storm sewer/stormwater ponds, and other improvements.

3. DEVELOPER INCENTIVE FOR FUTURE DEVELOPMENT

LOCATION: Within TID boundary and half mile TID radius

TOTAL: TBD

DESCRIPTION: Current at the creation of this project plan a development agreement is not in place in which developer incentives will be provided by the village. It is possible in the future that the village may provide incentives to a developer for a project within the district and therefore include the insertion of a project cost which could be utilized for developer incentives if approved by the village via a development agreement. Therefore, currently the project plan is not listing a specific dollar amount.

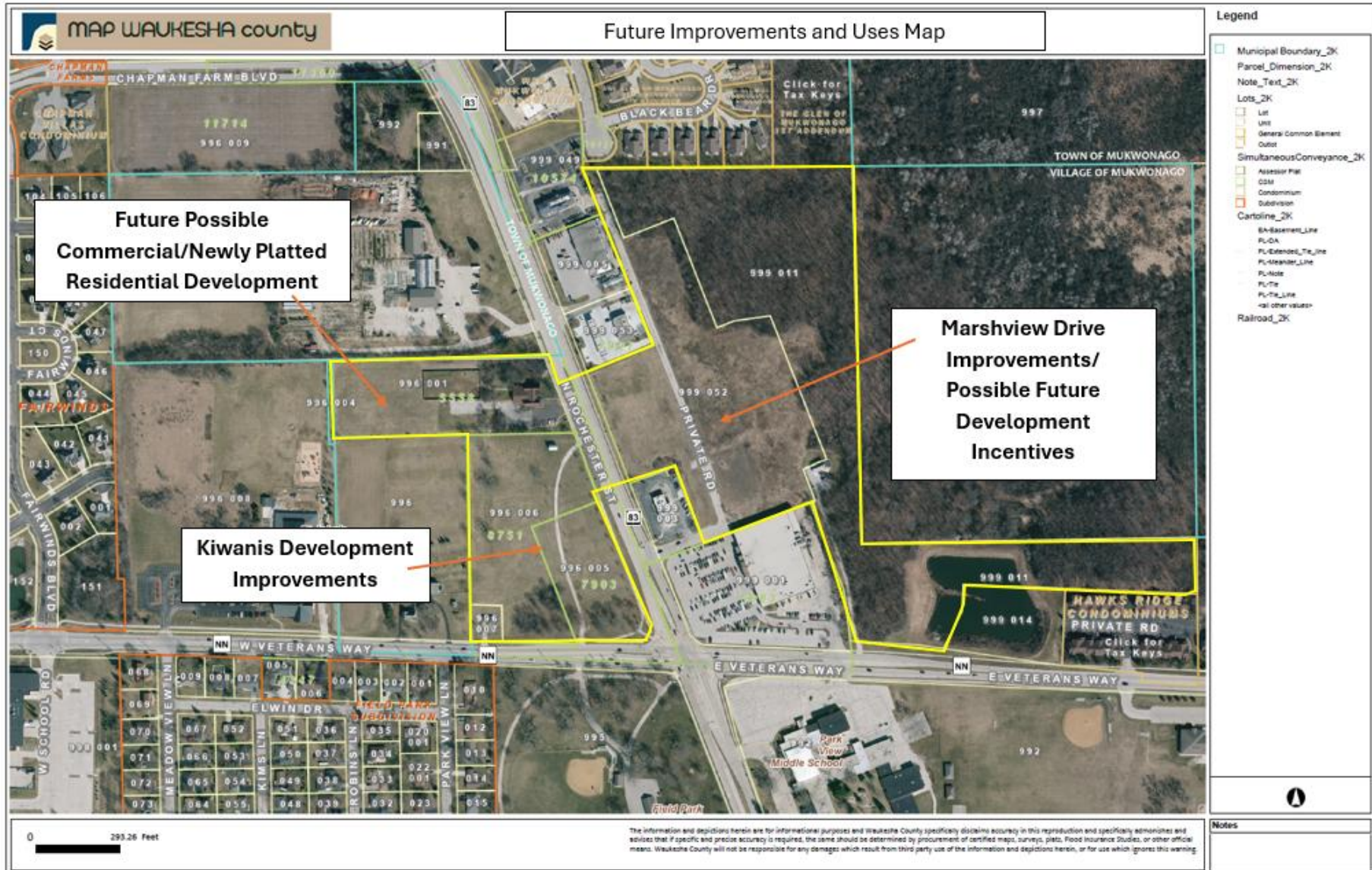
4. ADMINISTRATIVE / ORGANIZATIONAL FEES

LOCATION: Entire TID

TOTAL: \$105,000

DESCRIPTION: Annual TID and Village staff administration fees and professional fees for creation and organization, including legal fees.

Section 10: Maps Showing Proposed Improvements and Uses



Section 11: Detailed List of Project Costs

1. STREET/SIDEWALK/UTILITY IMPROVEMENTS FOR MARSHVIEW DRIVE	\$2,650,000
2. STREET/UTILITY IMPROVEMENTS FOR KIWANIS DEVELOPMENT	\$800,000
3. DEVELOPER INCENTIVES FOR FUTURE DEVELOPMENT	TBD
4. ADMINSTRATIVE / ORGANIZATIONAL IMPROVEMENTS	\$105,000
ESTIMATED TOTAL	\$3,555,000

The project cost is based on current prices and preliminary estimates. The Village reserves the right to increase this cost to reflect inflationary increases and other uncontrollable circumstances between the creation of the TID and the time of construction. The tax increment allocation is preliminary and is subject to adjustment based upon the implementation of the Plan.

This Plan is not meant to be a budget nor an appropriation of funds for specific projects, but a framework within which to manage projects. All costs included in the Plan are estimates based on the best information available. The Village retains the right to delete or pursue future projects listed in the prior paragraph, and shown on the map, or change the scope and/or timing of projects implemented as they are individually authorized by the Village Board, without amending the Plan.

The Plan authorizes the expenditure of funds for project costs within a 1/2-mile radius of the TID boundary.

Section 12: Economic Feasibility

The information and exhibits contained within this project plan demonstrate that the proposed TID is economically feasible insofar as:

- The Village has available to it the means to secure the necessary financing required to accomplish the projects contained within this Plan. A listing of “Method of Financing and Timing of When Costs are to be Incurred” follows in Section 13.
- The development anticipated to occur because of the implementation of this Plan will generate sufficient tax increments to pay for the cost of the projects. This Plan identifies the following: 1) the development expected to occur, 2) a projection of tax increments to be collected resulting from that development and other economic growth within the TID, and 3) a cash flow model demonstrating that the projected tax increment collections and all other revenues available such as debt issuance will be sufficient to pay all Project Costs.

To evaluate the economic feasibility of TID #7 it is necessary to project the amount of tax revenue that can be reasonably generated over the legal life of the TID. Included in Exhibit A is a proforma analysis of TID #7. The proforma analyzes expenses based on project plan costs of TID #7 against projected TID revenue. Tax revenue is conservatively estimated. Cash received from future TID #77 tax increments will be used to fund project costs and implementation of this Plan will also require that the Village issue a developer grant/loan to provide direct or indirect financing for the Projects to be undertaken. In 2047, the final year of revenue collection for the TID, it is projected to have repaid all expenditures and is left with a positive surplus balance.

Section 13: Method of Financing and Timing of When Costs are to be Incurred.

The Village plans to fund project costs with cash received from future TID #7 tax increments and to possibly issue a developer grant/loan to provide direct or indirect financing for the Projects to be undertaken. The following is a list of the types of obligations the Village may choose to utilize.

General Obligation (G.O.) Bonds or Notes (BAN, NAN, TAN)

The Village may issue G.O. Bonds or Notes to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of G.O. and State Trust Fund Loan debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total

Village of Mukwonago
TID #7 Project Plan & District Boundary

equalized value (including increment values).

Community Development Authority Lease Revenue Bonds:

Pursuant to Section 66.1335 Wisconsin Statutes (i.e., the “Community Development Authority Law”) the Village may issue Community Development Authority Lease Revenue Bonds to finance projects included within this Plan. Lease Revenue Bonds are not general obligations of the Village and therefore do not count against the Village’s borrowing capacity. To the extent tax increments collected are insufficient to meet the annual debt service requirements of the revenue bonds, the Village may be subject to either a permissive or mandatory requirement to appropriate on an annual basis a sum equal to the actual or projected shortfall.

Tax Increment Revenue Bonds

The Village has the authority to issue revenue bonds secured by the tax increments to be collected. These bonds may be issued directly by the Village or as a Lease Revenue Bond by a Community Development Authority (CDA). Tax Increment Revenue Bonds and Lease Revenue Bonds are not general obligations of the Village and therefore do not count against the Village’s borrowing capacity. To the extent tax increments collected are insufficient to meet the annual debt service requirements of the revenue bonds, the Village may be subject to either a permissive or mandatory requirement to appropriate on an annual basis a sum equal to the actual or projected shortfall.

Utility Revenue Bonds

The Village can issue revenue bonds to be repaid from revenues of the sewer and/or water systems, including revenues paid by the Village that represent service of the system to the Village. There is neither a statutory nor constitutional limitation on the amount of revenue bonds that can be issued, however, water rates are controlled by the Wisconsin Public Service Commission and the Village must demonstrate to bond underwriters its ability to repay revenue debt with the assigned rates. To the extent the Village utilizes utility revenues other than tax increments to repay a portion of the bonds, the Village must reduce the total eligible Project Costs in an equal amount.

Board of Commissioners of Public Lands State Trust Fund Loans

The Village may issue State Trust Fund Loans to finance the cost of Projects included within this Plan. Wisconsin Statutes limit the principal amount of State Trust Fund Loan and GO debt that a community may have outstanding at any point in time to an amount not greater than five percent of its total equalized value (including increment values).

Village of Mukwonago
TID #7 Project Plan & District Boundary

Bonds Issued to Developers (“Pay as You Go” Financing)

The Village may issue a bond to one or more developers who provide financing for projects included in this Plan. Repayment of the amounts due to the developer under the bonds are limited to an agreed percentage of the available annual tax increments collected that result from the improvements made by the developer. To the extent the tax increments collected are insufficient to make annual payments, or to repay the entire obligation over the life of the District, the Village’s obligation is limited to not more than the agreed percentage of the actual increments collected. Bonds issued to developers in this fashion are not general obligations of the Village and therefore do not count against the Village’s borrowing capacity.

Federal/State Loan and Grant Programs

The State and Federal governments often sponsor grant and loan programs that municipalities may potentially use to supplement TID expenditures or provide financing for capital costs which positively impact the district. These programs include Wisconsin Community Development Block Grants, Rural Development Administration Community Facility Loan/Grants, Transportation Economic Assistance Grants, and Economic Development Administration Grants. These programs require local match funding to ensure State and Federal participation in the project.

The actual amount of debt issuance will be determined by the Village at its convenience and as dictated by the nature of the projects as they are implemented.

Plan Implementation

Projects identified will provide the necessary anticipated governmental services to the area, and appropriate inducements to encourage development of the area. The Village anticipates making total project expenditures of approximately \$3,555,000 plus financing/interest costs to undertake the projects listed in this Project Plan. The Expenditure Period of this District is 15 years from the date of adoption of the Creation Resolution by the Village Board. The projects to be undertaken pursuant to this Project Plan are expected to be financed primarily with tax increments. The Village reserves the right to alter the implementation of this Plan to accomplish this objective. Interest rates projected are based on current market conditions. Municipal interest rates are subject to constantly changing market conditions. In addition, other factors such as the loss of tax-exempt status of municipal bonds or broadening the purpose of future tax-exempt bonds would affect market conditions. Actual interest expense will be determined once the methods of financing have been approved and securities or other obligations are issued.

If financing as outlined in this Plan proves unworkable, the Village reserves the right to use alternate financing solutions for the projects as they are implemented.

Section 14: Annexed Property

All the land proposed for inclusion within the TID were annexed by the Village on or after January 1, 2004, and it has been at least three years since the annexation occurred or the Village has pledged to pay the town an amount equal to the property taxes levied on the annexed territory for each of the next five years.

Section 15: Proposed Changes in Zoning Ordinances

No other changes to the existing zoning district map or zoning ordinance are anticipated to impact this project plan. Any changes in zoning that may take place throughout the life of the TID will be consistent with the Village's Comprehensive Plan – Future Land Use Map.

Section 16: Proposed Changes in Master Plan, Map, Building Codes, and Village Ordinances

The Village does not anticipate that the TID will require any changes in the master plan, map, building codes, and Village ordinances to implement this project plan. The proposed development and uses are consistent with the adopted Mukwonago Comprehensive Plan.

Section 17: Relocation

The Village does not anticipate the need to relocate persons or businesses in conjunction with this Plan. In the event relocation or the acquisition of property by eminent domain becomes necessary at some time during the implementation period, the Village will follow applicable state statutes as required in Wisconsin Statutes Chapter 32.

Section 18: Orderly Development of the Village

The creation of the TID will enable the Village to undertake projects in furtherance of the stated objectives of its Comprehensive Plan and other planning documents. To this extent, the creation of the TID promotes the

orderly development of the Village.

Section 19: A List of Estimated Non-Project Costs

Non-Project costs are public works projects that only partly benefit the TID or are not eligible to be paid with tax increment, or costs not eligible to be paid with Tax Incremental Financing funds. The Village does not anticipate any non-project costs for the TID.

Section 20: Village Attorney Opinion

Exhibit B contains a signed opinion from the Village attorney advising whether the project plan is complete and complies with Section 66.1105(4)(f) of the Wisconsin Statutes.

**Village of Mukwonago
TID #7 Project Plan & District Boundary**

SECTION 21: EXHIBIT A CASH FLOW PROFORMA ANALYSIS

**Village of Mukwonago
Tax Increment District No. 7
Hypothetical Cash Flow Proforma Analysis - Current Status**

Assumptions	
Annual Inflation During Life of TID.....	1.00%
2025 Gross Tax Rate (per \$1000 Equalized Value).....	\$12.71
Annual Adjustment to tax rate.....	0.00%
Investment rate.....	0.50%
Data above dashed line are actual	

100% Marsh Drive and 1000% DOT Const.	
\$3,860,000	
GO Promissory Notes	
Dated July 15, 2026	
Amount for Projects.....	\$3,450,000
Capitalized Interest.....	\$405,407
Cost of Issuance (est.).....	\$35,000
Rounding.....	\$4,593
Less: Reoffering Premium.....	\$35,000

Year	Background Data					Revenues				Expenditures						TID Status			Year	
	(a)	(b)	(c)	(d)	(e)	(f)	(g)	(h)	(i)	(j)	(k)	(l)	(m)	(n)	(o)	(p)	(q)	(r)		(s)
	TIF District Valuation	Inflation Increment	Construction Increment	TIF Increment Over Base	Tax Rate	Tax Revenue	Investment Proceeds	Transfers from General Fund	Total Revenues	Principal	Interest	Capitalized Interest	Debt Service	Transfers to General Fund	Admin Expenses	Combined Expenditures	Annual Balance	Year End Cumulative Balance		Cost Recovery
	(1)									(4/1)	(4/1 & 10/1)	(2/1 & 8/1)						(December 31)		
	Base Value									AVG= 4.75%										
	\$2,320,900																			
2026	\$2,320,900		\$5,000,000	\$5,000,000	\$12.71	\$0	\$0	\$25,000	\$25,000						\$5,000	\$5,000	\$20,000	\$20,000		
2027	\$7,320,900		\$5,000,000	\$10,000,000	\$12.71	\$0	\$100		\$100	\$222,057		(\$222,057)	\$0		\$5,000	\$5,000	(\$4,900)	\$15,100		
2028	\$12,320,900		\$5,000,000	\$15,000,000	\$12.71	\$63,550	\$76		\$63,626	\$183,350		(\$183,350)	\$0		\$5,000	\$5,000	\$58,626	\$73,726		
2029	\$17,320,900	\$173,209		\$15,173,209	\$12.71	\$127,100	\$369		\$127,469	\$183,350			\$183,350		\$5,000	\$188,350	(\$60,881)	\$12,844		
2030	\$17,494,109	\$174,941		\$15,348,150	\$12.71	\$190,650	\$64		\$190,714	\$183,350			\$183,350		\$5,000	\$188,350	\$2,364	\$15,208		
2031	\$17,669,050	\$176,691		\$15,524,841	\$12.71	\$192,851	\$76		\$192,928	\$183,350			\$183,350		\$5,000	\$188,350	\$4,578	\$19,786		
2032	\$17,845,741	\$178,457		\$15,703,298	\$12.71	\$195,075	\$99		\$195,174	\$183,350			\$183,350		\$5,000	\$188,350	\$6,824	\$26,610		
2033	\$18,024,198	\$180,242	\$5,000,000	\$20,883,540	\$12.71	\$197,321	\$133		\$197,454	\$183,350			\$183,350		\$5,000	\$188,350	\$9,104	\$35,714		
2034	\$23,204,440	\$232,044	\$5,000,000	\$26,115,584	\$12.71	\$199,589	\$179		\$199,767	\$183,350			\$183,350	\$25,000	\$5,000	\$188,350	\$11,417	\$47,131		
2035	\$28,436,484	\$284,365	\$5,000,000	\$31,399,949	\$12.71	\$265,430	\$236		\$265,665	\$183,350			\$183,350		\$5,000	\$213,350	\$52,315	\$99,446		
2036	\$33,720,849	\$337,208	\$5,000,000	\$36,737,158	\$12.71	\$331,929	\$497		\$332,426	\$183,350			\$183,350		\$5,000	\$188,350	\$144,076	\$243,523		
2037	\$39,058,058	\$390,581		\$37,127,738	\$12.71	\$399,093	\$1,218		\$400,311	\$179,788	\$150,000		\$329,788		\$5,000	\$334,788	\$65,523	\$309,046		
2038	\$39,448,638	\$394,486		\$37,522,225	\$12.71	\$466,929	\$1,545		\$468,475	\$171,475	\$200,000		\$371,475		\$5,000	\$376,475	\$92,000	\$401,046		
2039	\$39,843,125	\$398,431		\$37,920,656	\$12.71	\$471,894	\$2,005		\$473,899	\$160,788	\$250,000		\$410,788		\$5,000	\$415,788	\$58,111	\$459,157		
2040	\$40,241,556	\$402,416		\$38,323,071	\$12.71	\$476,907	\$2,296		\$479,203	\$147,725	\$300,000		\$447,725		\$5,000	\$452,725	\$26,478	\$485,635		
2041	\$40,643,971	\$406,440		\$38,729,511	\$12.71	\$481,972	\$2,428		\$484,400	\$132,288	\$350,000		\$482,288		\$5,000	\$487,288	(\$2,888)	\$482,748		
2042	\$41,050,411	\$410,504		\$39,140,015	\$12.71	\$487,086	\$2,414		\$489,500	\$113,288	\$450,000		\$563,288		\$5,000	\$568,288	(\$78,788)	\$403,960		
2043	\$41,460,915	\$414,609		\$39,554,624	\$12.71	\$492,252	\$2,020		\$494,272	\$90,725	\$500,000		\$590,725		\$5,000	\$595,725	(\$101,453)	\$302,507		
2044	\$41,875,524	\$418,755		\$39,973,380	\$12.71	\$497,470	\$1,513		\$498,982	\$66,381	\$525,000		\$591,381		\$5,000	\$596,381	(\$97,399)	\$205,108		
2045	\$42,294,280	\$422,943		\$40,396,322	\$12.71	\$502,739	\$1,026		\$503,765	\$40,850	\$550,000		\$590,850		\$5,000	\$595,850	(\$92,085)	\$113,023		
2046					\$12.71	\$508,062	\$565		\$508,627	\$13,894	\$585,000		\$598,894		\$5,000	\$603,894	(\$95,267)	\$17,756	Expenditures Recovered	
2047					\$12.71	\$513,437	\$89		\$513,526	\$0	\$0		\$0		\$0	\$0	\$513,526	\$531,282	Expenditures Recovered	
			\$5,396,322	\$35,000,000		\$7,061,336	\$18,945	\$25,000	\$7,105,282	\$3,860,000	\$2,989,407	(\$405,407)	\$6,444,000	\$25,000	\$105,000	\$6,574,000				

Type of TID: Mixed-Use
 2026 TID Inception
 2041 Final Year to Incur TIF Related Costs
 2046 Maximum Legal Life of TID (20 Years)
 2047 Final Tax Collection Year

(1) Increment per Village Estimates.
 (1) Estimating \$20 Million in future development

(2) Footnote: TIF Funds All of \$2,650,000 for Marshview Drive School and STH83, plus \$800,000 for Kwanis Park DOT Improvements and Field Park Entrance.

SECTION 22: ESTIMATED TAX INCREMENTS BY TAXING ENTITY

Village of Mukwonago TID # 7					
Calculation of the Growth of Estimated Tax Increments by Taxing Entity					
Revenue	Projected Increment	County	Village	School District	Technical College
2026	\$ -	\$ -	\$ -	\$ -	\$ -
2027	\$ -	\$ -	\$ -	\$ -	\$ -
2028	\$ 63,550.00	\$ 6,518.61	\$ 27,666.03	\$ 28,121.84	\$ 1,243.52
2029	\$ 127,100.00	\$ 13,037.21	\$ 55,332.05	\$ 56,243.69	\$ 2,487.05
2030	\$ 190,650.00	\$ 19,555.82	\$ 82,998.08	\$ 84,365.53	\$ 3,730.57
2031	\$ 192,851.49	\$ 19,781.64	\$ 83,956.48	\$ 85,339.72	\$ 3,773.65
2032	\$ 195,074.99	\$ 20,009.71	\$ 84,924.46	\$ 86,323.65	\$ 3,817.16
2033	\$ 197,320.72	\$ 20,240.06	\$ 85,902.13	\$ 87,317.43	\$ 3,861.10
2034	\$ 199,588.92	\$ 20,472.72	\$ 86,889.57	\$ 88,321.14	\$ 3,905.49
2035	\$ 265,429.79	\$ 27,226.31	\$ 115,552.91	\$ 117,456.73	\$ 5,193.84
2036	\$ 331,929.08	\$ 34,047.44	\$ 144,502.89	\$ 146,883.67	\$ 6,495.07
2037	\$ 399,093.35	\$ 40,936.78	\$ 173,742.36	\$ 176,604.89	\$ 7,809.32
2038	\$ 466,929.27	\$ 47,895.01	\$ 203,274.23	\$ 206,623.32	\$ 9,136.71
2039	\$ 471,893.55	\$ 48,404.22	\$ 205,435.40	\$ 208,820.09	\$ 9,233.85
2040	\$ 476,907.48	\$ 48,918.52	\$ 207,618.17	\$ 211,038.82	\$ 9,331.96
2041	\$ 481,971.54	\$ 49,437.97	\$ 209,822.77	\$ 213,279.75	\$ 9,431.05
2042	\$ 487,086.24	\$ 49,962.60	\$ 212,049.42	\$ 215,543.08	\$ 9,531.13
2043	\$ 492,252.09	\$ 50,492.49	\$ 214,298.33	\$ 217,829.05	\$ 9,632.22
2044	\$ 497,469.59	\$ 51,027.67	\$ 216,569.74	\$ 220,137.87	\$ 9,734.31
2045	\$ 502,739.28	\$ 51,568.20	\$ 218,863.86	\$ 222,469.79	\$ 9,837.43
2046	\$ 508,061.66	\$ 52,114.14	\$ 221,180.91	\$ 224,825.02	\$ 9,941.57
2045	\$ 513,437.26	\$ 52,665.54	\$ 223,521.14	\$ 227,203.81	\$ 10,046.76
TOTALS	\$ 7,061,336	\$ 724,313	\$ 3,074,101	\$ 3,124,749	\$ 138,174

SECTION 22: EXHIBIT B VILLAGE ATTORNEY OPINION

ENTER ATTORNEY OPINION

SECTION 23: EXHIBIT C TID # 7 BOUNDARY LEGAL DESCRIPTION

INSERT BOUNDARY

SECTION 24: DISCLAIMER TEXT

Robert W. Baird & Co. Incorporated is providing this information to you for discussion purposes. The materials do not contemplate or relate to a future issuance of municipal securities. Baird is not recommending that you take any action, and this information is not intended to be regarded as "advice" within the meaning of Section 15B of the Securities Exchange Act of 1934 or the rules thereunder.

VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES

RESOLUTION NO. 2026-09

A RESOLUTION FOR A CSM REVIEW FOR THE MUKWONAGO COMMUNITY LIBRARY LOCATED AT 511 DIVISION STREET, PARCEL NUMBERS MUKV1973183, MUKV1973184, MUKV1973186, MUKV1973187, MUKV1973188, MUKV1973189, MUKV1973189, MUKV1973191, MUKV1973192

WHEREAS, pursuant to Section 45, Article IV of the Mukwonago Code of Ordinances, an application for a CSM Review has been submitted, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by the Village of Mukwonago Department of Public Works, and

WHEREAS, the applicant desires to combine the nine existing parcels into one single parcel, and

WHEREAS, the proposed CSM conforms to the requirements of the Village of Mukwonago Zoning Code for the district in which the property resides.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the CSM for the Mukwonago Community Library, based upon the plans submitted to the Village, subject to the conditions listed below:

1. The CSM shall be recorded with the Waukesha County Register of Deeds within 30 days of its approval.

Passed and adopted by the Village of Mukwonago Village Board this 18th day of February, 2026.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Lana Kropf, Village Clerk

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission
 FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.
 REPORT DATE: February 2, 2026
 MEETING DATE: February 10, 2026, 6:30 P.M.
 SUBJECT: Mukwonago Community Library – CSM Review

BASIC INFORMATION	
Project:	Mukwonago Community Library CSM
Applicant:	Village of Mukwonago – Department of Public Works
Professional Land Surveyor:	Baiba Rozite – Ruekert & Mielke, Inc.
Request:	CSM Application Approval
Staff Recommendation:	Approve

PARCEL DATA/CHARACTERISTICS	
Tax Key:	MUKV1973183, MUKV1973184, MUKV1973186, MUKV1973187, MUKV1973188, MUKV1973189, MUKV1973189, MUKV1973191, MUKV1973192
Existing Acreage:	2.243 Acres Combined
Current Use:	Library
Proposed Use:	Library
Reason for Request:	CSM Approval
Land Use Classification:	Institutional
Zoning Classification:	P-1 Public/Semi-Public

Project Summary & Overview

The Village of Mukwonago Department of Public Works, as the representative in charge of the Mukwonago Community Library facility building and grounds is seeking approval of a CSM to combine all of the existing parcels that comprise the Library site into one single parcel. As part of grant funding for a remodeling project, the State of Wisconsin requires the parcels be consolidated into one. More information is provided in the attached letter from the Public Works Director.

The Village Board approved the vacation of the Market Street right-of-way reservation at the January 21, 2026 Village Board Meeting. This right-of-way vacation is shown on the provided CSM.

~Mukwonago, Village of > 12-10215 > 2026 Miscellaneous Planning > Mukwonago Community Library CSM > Staff Report-20260202 - Mukwonago Community Library - CSM~

Staff Report – CSM
Mukwonago Community Library CSM
February 2, 2026
Page 2

Staff Review

Engineering:	No comments.
Public Works	No comments.
Utilities	No comments.
Police	No comments.
Fire:	No comments.
Building Inspection	No comments.
Planning	No comments.

Recommended Action

Staff recommends the Village Board approve the CSM as outlined in the attached resolution.

Attachments

1. Proposed CSM
2. Supporting Application Documents



VILLAGE OF MUKWONAGO

SITE PLAN, ARCHITECTURAL, AND PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Application Fee: Below

Date Submitted: 1/9/26

FEES

(Please check one)

- Minor Site Plan (No Building): \$160.00
- Major Site Plan; New Building/Addition (> 600 sq. ft.): \$475.00 plus \$.02 per sq. ft.
- Planned Unit Development (PUD) Review: \$225.00 plus \$50.00/unit
- Other (See Current Fee Schedule) CSM, Fee Waived, Village of Mukwonago Project

CONTACTS

Building Department

Contact: Supervisor of Inspections
Tim Rutenbeck
Phone: (262) 363-6419 Option 1
Fax: (262) 363-6425
Email: trutenbeck@villageofmukwonago.gov

Zoning and Planning

Contact: Village Planner
Peter Gesch
Phone: (262) 542-5733
Fax: (262) 363-6425
Email: pgesch@ruekert-mielke.com

GUIDELINES

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner
440 River Crest Ct
Mukwonago, WI 53149
Deliver to: Village Clerk's Office
440 River Crest Ct
Email to: trutenbeck@villageofmukwonago.gov

Complete, accurate and specific information must be entered. Please Print.

APPLICANT (Full Legal Name)

Name: Ron Bittner
Company: Village of Mukwonago
Address: 440 River Crest Ct City: Mukwoango State: WI Zip: 53149
Daytime Phone: 262-363-6447 Fax: _____
E-Mail: rbittner@villageofmukwonago.gov

APPLICANT IS REPRESENTED BY (Full Legal Name)

Name: _____
Company: _____
Address: _____ City: _____ State: _____ Zip: _____
Daytime Phone: _____ Fax: _____
E-Mail: _____

ARCHITECT

Name: _____
Company: _____
Address: _____ City: _____ State: _____ Zip: _____
Daytime Phone: _____ Fax: _____
E-Mail: _____

PROFESSIONAL ENGINEER

Name: _____
Company: _____
Address: _____ City: _____ State: _____ Zip: _____
Daytime Phone: _____ Fax: _____
E-Mail: _____

REGISTERED SURVEYOR

Name: BAIBA ROZITE
Company: RUEKERT & MIELKE, INC.
Address: W233 N2080 RIDGEVIEW PARKWAY City: WAUKESHA State: WI Zip: 53188
Daytime Phone: 262-542-5733 Fax: _____
E-Mail: BROZITE@RUEKERT-MIELKE.COM

CONTRACTOR

Name: _____
Company: _____
Address: _____ City: _____ State: _____ Zip: _____
Daytime Phone: _____ Fax: _____
E-Mail: _____

PROPERTY INFORMATION

Property Owner (s) (if different from applicant): Village of Mukwonago
Address: 511 Division Street City: Mukwonago State: WI Zip: 53149
Daytime Phone: _____ Fax: _____
E-Mail: _____
Present Zoning: _____ Tax Key No(s): _____
Location/Address: _____
Present Use: _____ Intended Use: _____

PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

Submittals for review must include and be accompanied by the following:

Application:

- Completed application form including the procedural checklist.
- Application fee: See page 1.
- Agreement for Reimbursable Services (separate application).

Other Documents:

- One(1) complete set of Application and materials, in addition to the original, for Village of Mukwonago review.
- Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
- Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to trutenbeck@villageofmukwonago.gov .
- Any additional information as determined by Village staff.

- **Upon receipt of a complete submittal, staff review will be conducted within ten business days.**
- **All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.**

CERTIFICATION

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

Signature - Property Owner

Name & Title (PRINT)

Date

Signature - Property Owner

Name & Title (PRINT)

Date

Signature - Applicant

Name & Title (PRINT)

Date



Signature – Applicant's Representative

Ron Bittner, Village of Mukwonago Public Works Director

Name & Title (PRINT)

January 9, 2026

Date

FOR OFFICE USE ONLY	
Date Paid	Receipt #
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	



Village of Mukwonago

440 River Crest Court, Mukwonago, Wisconsin 53149
Tel. (262) 363-6420 | Fax: (262)363-6425

TO: Plan Commission
FROM: Ron Bittner, Director of Public Works
DATE: January 9, 2026
SUBJECT: Certified Survey Map (CSM) for Mukwonago Community Library and Washington Park

Background

The Mukwonago Community Library is undergoing a remodeling project that may be partially funded in part by a grant from the State of Wisconsin. As a condition of receiving these funds, the state requires that a document be recorded on the property indicating that the construction was completed using grant funds. This requirement serves as a mechanism for the state to recoup its investment should the property ever be sold.

Currently, the library property consists of nine individual lots. Consolidating these lots into a single parcel will simplify the recording process and ensure compliance with state requirements.

Analysis

The block containing the library and Washington Park includes a reserved right-of-way for a street that was never constructed. Since a Certified Survey Map (CSM) is being prepared to consolidate the library lots, staff recommends addressing this unused right-of-way at the same time.

Vacating the right-of-way and dividing it between the two parcels—one for the library and one for Washington Park—will:

- Eliminate unnecessary encumbrance on the properties.
 - Provide clear and accurate property boundaries.
 - Facilitate future property management and compliance with grant documentation requirements.
-

Recommendation

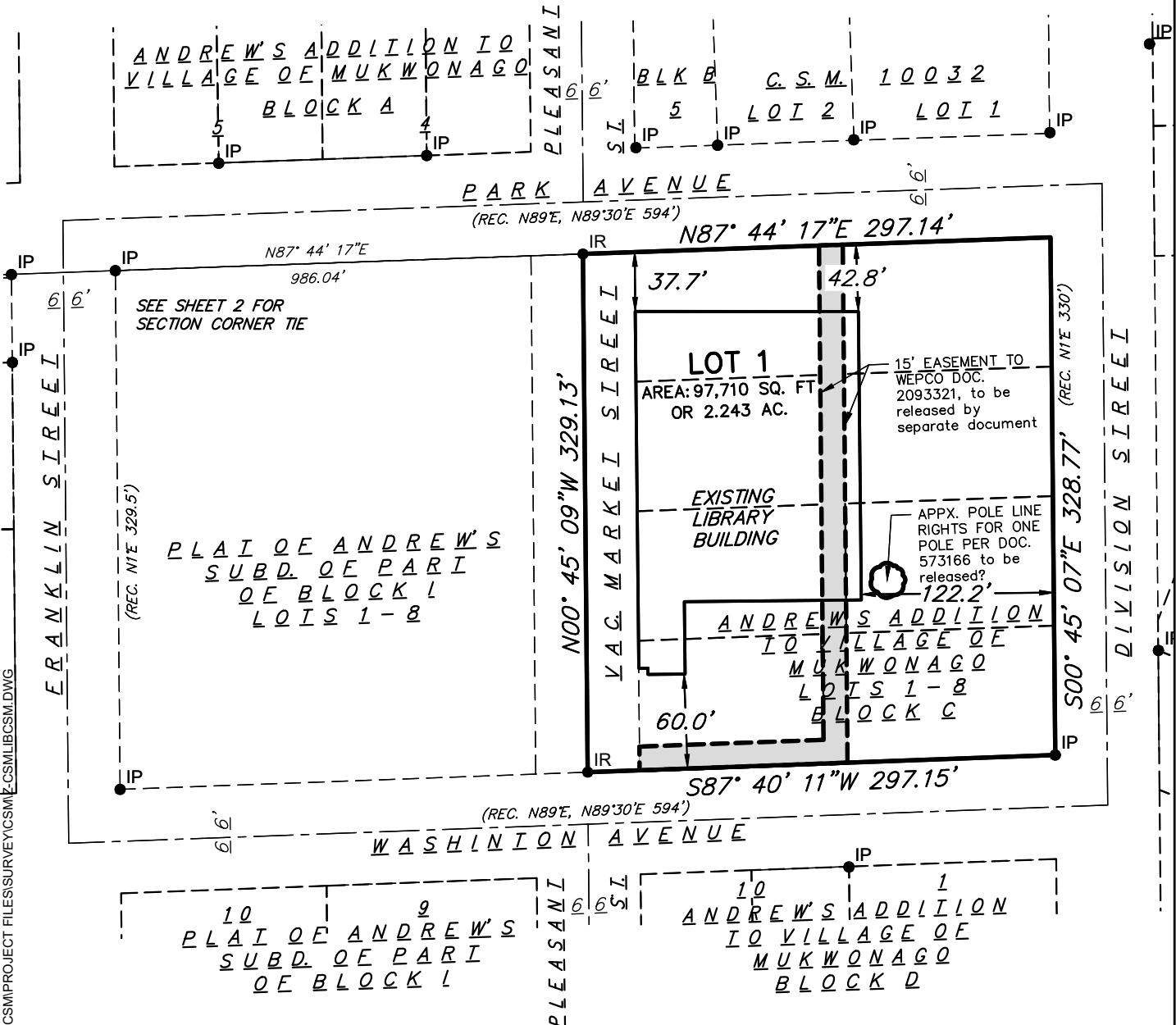
Staff recommends approval of the Certified Survey Map to:

1. Consolidate the nine existing library lots into a single parcel.
2. Vacate the unused right-of-way.
3. Divide the vacated area between the library parcel and Washington Park parcel.

This action will streamline the grant compliance process and improve the overall clarity of property records.

CERTIFIED SURVEY MAP NO. _____

LOTS 1 - 8, BLOCK C OF ANDREW'S ADDITION TO VILLAGE OF MUKWONAGO, AND PART OF VACATED MARKET STREET, IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN



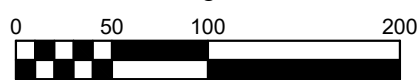
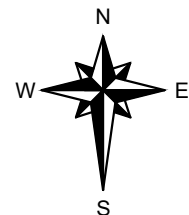
- IP 1" IRON PIPE FOUND
- IR 3/4" X 18" REBAR SET 1.5 LB/FT.
- CONCRETE MONUMENT WITH BRASS CAP

PREPARED FOR:
VILLAGE OF MUKWONAGO
440 RIVER CREST COURT
MUKWONAGO, WI 53149

PREPARED BY:
RUEKERT & MIELKE, INC.
W233 N2080 RIDGEVIEW PKWY.
WAUKESHA, WI 53188



Dated: 11/11/2025



SCALE IN FEET

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, NAD 83, SOUTH ZONE, WEST LINE OF NE 1/4 OF 26-05-18 BEARING S 00°45'02" E.

SHEET 1 OF 3



CERTIFIED SURVEY MAP NO. _____

LOTS 1 – 8, BLOCK C OF ANDREW’S ADDITION TO VILLAGE OF MUKWONAGO, AND PART OF VACATED MARKET STREET, IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

SURVEYOR’S CERTIFICATE

STATE OF WISCONSIN }
 COUNTY OF WAUKESHA } SS

I, Baiba M. Rozite, Ruckert & Mielke, Inc., Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped Lots 1–8, Block C of Andrew’s Addition to the Village of Mukwonago, **and part of vacated Market Street**, in the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 26, Town 5 North, Range 18 East, in the Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the North 1/4 corner of said Section 26; thence South 00°45’02” East, 1276.82 feet along the west line of the Northeast 1/4 of said Section; thence North 87°44’17” East, 986.04 feet to the point of beginning at the intersection of the centerline of vacated Market Street and the south line of Park Avenue; continue thence North 87°44’17” East, 297.14 feet along said south line to the west line of Division Street; thence South 00°45’07” East, 328.77 feet along said west line to the north line of Washington Avenue; thence South 87°40’11” West, 297.15 feet along said north line to the aforementioned centerline of vacated market Street; thence North 00°45’09” West, 329.13 feet along said centerline to the point of beginning. Containing 97,710 square feet or 2.243 acres of land, more or less.

That I have made this survey, land division and map by the direction of the Village of Mukwonago, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof made.

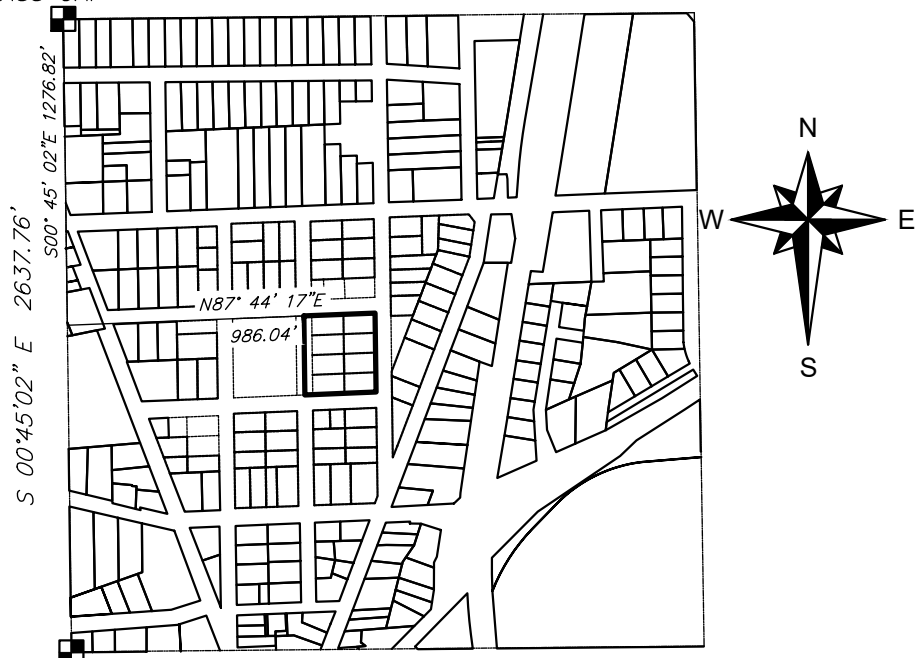
That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Mukwonago land division ordinance in surveying, dividing and mapping of same.

C:\USERS\BROZITE\DC\ACCD\DCS\RUEKERT & MIELKE, INC.\12 - VILLAGE OF MUKWONAGO - LIBRARY CSM\PROJECT FILES\SURVEY\CSMZ\CSML\BCSM.DWG

[Signature]
 Baiba M. Rozite, PLS – 2351
 Date of field work: 11/23/2025

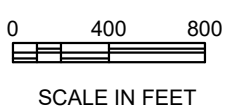


N 1/4 COR.
 SEC. 26-05-18
 CONC. MON.
 W/ BRASS CAP



CENTER OF
 SEC. 26-05-18
 CONC. MON.
 W/ BRASS CAP

NE 1/4 SEC. 26-05-18



SHEET 2 OF 3



CERTIFIED SURVEY MAP NO. _____

LOTS 1 - 8, BLOCK C OF ANDREW'S ADDITION TO VILLAGE OF MUKWONAGO, AND PART OF VACATED MARKET STREET, IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

The Village of Mukwonago, a municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said municipal corporation caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map.

The Village of Mukwonago, as owner, does further certify that this Certified Survey Map is to be submitted to the following for approval or objection:

The Village of Mukwonago

WITNESS the hand and seal of said owner(s) this _____ day of _____, 20 _____.

In the presence of:

Name _____ Title _____

Name _____ Title _____

STATE OF WISCONSIN } SS
COUNTY OF _____ }

Personally came before me this _____ day of _____, 20 _____, _____ of the Village of Mukwonago, to me known to be the _____ of said Village of Mukwonago, and acknowledged that they executed the foregoing instrument as such officer(s) as the deed of said municipal corporation, by its authority.

Notary Public, _____ County, _____ My Commission Expires _____

VILLAGE BOARD APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago, is hereby approved by the Village Board of the Village of Mukwonago.

Dated this _____ day of _____, 20 _____.

Name _____ Title _____

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Mukwonago.

Name _____ Title _____

PLAN COMMISSION APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago is hereby approved by the Village of Mukwonago Plan Commission.

Name _____ Title _____



Handwritten signature of Baiba M. Rozite.

Dated: 11/11/2025

SHEET 3 OF 3



C:\USERS\BROZITE\DC\ACDDOCS\RUEKERT & MIELKE, INC\12 - VILLAGE OF MUKWONAGO - LIBRARY CSM\PROJECT FILES\SURVEY\CSM\ZCSM\IBCSM.DWG

FORM 595-P-1000-4-62-JT., CORP.

FOR AND IN CONSIDERATION of the sum of One Dollar (1.00) to it paid, the receipt whereof is hereby acknowledged, ~~JOINT SCHOOL DISTRICT AND JOINT HIGH SCHOOL DISTRICT NO. 3 OF THE VILLAGE OF MUKWONAGO AND THE TOWNS OF MUKWONAGO, VERNON AND EAST TROY,~~ ~~corporation,~~ does hereby give and grant to

**WISCONSIN ELECTRIC POWER COMPANY
AND
WISCONSIN TELEPHONE COMPANY,**

their successors and assigns, the right, permission and authority to construct, erect, operate, maintain and replace a ~~wood~~ pole together with the necessary anchors, guy wires, ~~hiccups~~ and other appliances necessary and usual in the conduct of their respective businesses, and to string, maintain and replace wires and cables thereon for the purpose of supplying light, heat, power and signals, or for such other purpose as electric current is now or may here-

after be used, and for telephone service, upon, over and across the northerly part of the South one-half (1/2) of Lot numbered Three (3), Block "C", ANDREWS ADDITION TO THE VILLAGE OF MUKWONAGO, being a subdivision of a part of the Northeast one-quarter (NE 1/4) of Section numbered Twenty-six (26), Township numbered Five (5) North, Range numbered Eighteen (18) East, Village of Mukwonago, Waukesha County, Wisconsin; said pole to be set approximately one hundred thirty-nine (139) feet west of the center line of Division Street, and approximately one hundred forty-eight (148) feet north of the center line of Washington Avenue;

also to trim and keep trimmed all trees along the line upon its said premises so that they will clear wires and cables, string not less than eighteen (18) feet above the presently existing ground level, by as much as 5 feet, and so that the trees will not be liable to interfere with the transmission of electricity or with telephone service over said wires and cables.

Permission is also granted said Companies to enter upon said premises for the purpose of exercising the rights herein acquired.

It is understood and agreed that the entire agreement of the parties is contained in this instrument and that in the event the undersigned seeks to secure electric service or telephone service from said line, such service will be rendered upon the completion and electrification of said line, and then only under the conditions of the Companies' rules and regulations and at the Companies' authorized rates.

JOINT SCHOOL DISTRICT AND JOINT HIGH SCHOOL DISTRICT NO. 3 OF THE VILLAGE OF MUKWONAGO AND THE TOWNS OF MUKWONAGO, VERNON AND EAST TROY

IN WITNESS WHEREOF, the said ~~corporation~~ has caused these presents to be signed by its ~~Secretary~~ ~~official~~ Clerk ~~President~~ and countersigned by its ~~Secretary~~ Director ~~Secretary~~ and its ~~Secretary~~ seal hereunto affixed this 21 day of August, 1962.

In Presence of:

J. Leo Mitten
J. Leo Mitten
L. F. Krueger
L. F. Krueger

By *F. N. Schmidt*
F. N. Schmidt ~~President~~ Clerk
COUNTERSIGNED:
By *Gordon A. Himebauch*
Gordon A. Himebauch ~~Secretary~~ Director

STATE OF WISCONSIN }
Waukesha County } ss.

Personally came before me this 21 day of August, 1962,

F. N. Schmidt Clerk ~~President~~ and
Gordon A. Himebauch Director ~~Secretary~~ of the above named ~~corporation~~ school district

known to me to be the persons who executed the foregoing instrument and to me known to be such ~~corporation~~ Clerk school district and ~~Secretary~~ Director ~~Secretary~~ of said ~~corporation~~ school district, and acknowledged that they executed the foregoing instrument as such officers, as the deed of said ~~corporation~~ school district, by its authority.

APPROVED:

INITIALS	DATE
<i>Jm</i>	<i>8/21/62</i>

J. Leo Mitten
J. Leo Mitten
Notary Public, Waukesha County, Wis.
My commission expires 6-19-66

Doc. No. _____

Joint School District and Joint
High School District No. 3 of
the Village of Mukwonago and
the Towns of Mukwonago, Vernon
and East Troy

TO

WISCONSIN ELECTRIC POWER COMPANY
AND
WISCONSIN TELEPHONE COMPANY

EASEMENT

Pole line rights over premises
in NE $\frac{1}{4}$ of Section 26-5-18,
Village of Mukwonago,
Waukesha County, Wisconsin

REGISTER'S OFFICE

Waukesha Co., Wis.

} SS
No.

573166

RECEIVED FOR RECORD THE 14th DAY 56
SEPTEMBER A. D., 19 62 AT 1
O'CLOCK P. M. AND RECORDED IN VOL: 927
OF Books ON PAGE 107
Laura H. Palford
REGISTER

I.D.O. E- 5305
Chg. Acct. WO 72-832

Return to E. D. MISHELOW
Real Estate Dept., 231 W. Michigan St
MILWAUKEE 1, WIS.

(M)
C. E. B.
8-29-62
[Signature]

72/50

EASEMENT

DOCUMENT NO.

IDO NO. 2763901A

2093321

For \$1.00 which VILLAGE OF MUKWONAGO, a municipal corporation, hereinafter referred to as "grantor," owner of land, acknowledges receipt of, grants and warrants to WISCONSIN ELECTRIC POWER COMPANY, hereinafter referred to as "grantee", its successors and assigns, a permanent easement upon, within and beneath a part of grantor's land hereinafter referred to as "easement area."

The easement area is described as a strip of land 15 feet in width being a part of Lots 5 through 7, inclusive, Block C, Andrew Addition to the Village of Mukwonago, a subdivision located in the Northeast 1/4 of Section 26, Township 5 North, Range 18 East, in the Village of Mukwonago, Waukesha County, Wisconsin.

The location of the easement area with respect to the grantor's land is as shown on the attached drawing, marked Exhibit "A," and made a part of this document.

1. **Purpose:** The purpose of this easement is to install, maintain and replace underground utility facilities, conduit and cables, electric pad-mounted transformer, concrete slab, together with all necessary and appurtenant equipment under and above ground as deemed necessary by grantee, all to transmit electric energy and signals. Trees, bushes, branches and roots may be trimmed or removed so as not to interfere with grantee's use of the easement area.
2. **Access:** Grantee or its agents shall have the right to enter the grantor's land for the purpose of exercising its rights in the easement area.
3. **Buildings or Other Structures:** The grantor agrees that no structures will be erected in the easement area or in such close proximity to the electric facilities as to create a violation of the Wisconsin State Electrical Code or any amendments to it.
4. **Elevation:** The grantor agrees that the elevation of the existing ground surface within the easement area will not be altered by more than 4 inches without the written consent of grantee.
5. **Restoration:** Grantee agrees to restore or cause to have restored the grantor's land, as nearly as is reasonably possible, to the condition existing prior to such entry by the grantee or its agents. This restoration, however, does not apply to the initial installation of the underground electric and signals facilities, or to any trees, bushes, branches or roots which may interfere with grantee's use of the easement area.
6. **Exercise of Rights:** It is agreed that the complete exercise of the rights herein conveyed may be gradual and not fully exercised until some time in the future, and that none of the rights herein granted shall be lost by non-use.

2093321

DISTRIBUTION EASEMENT
UNDERGROUND JOINT

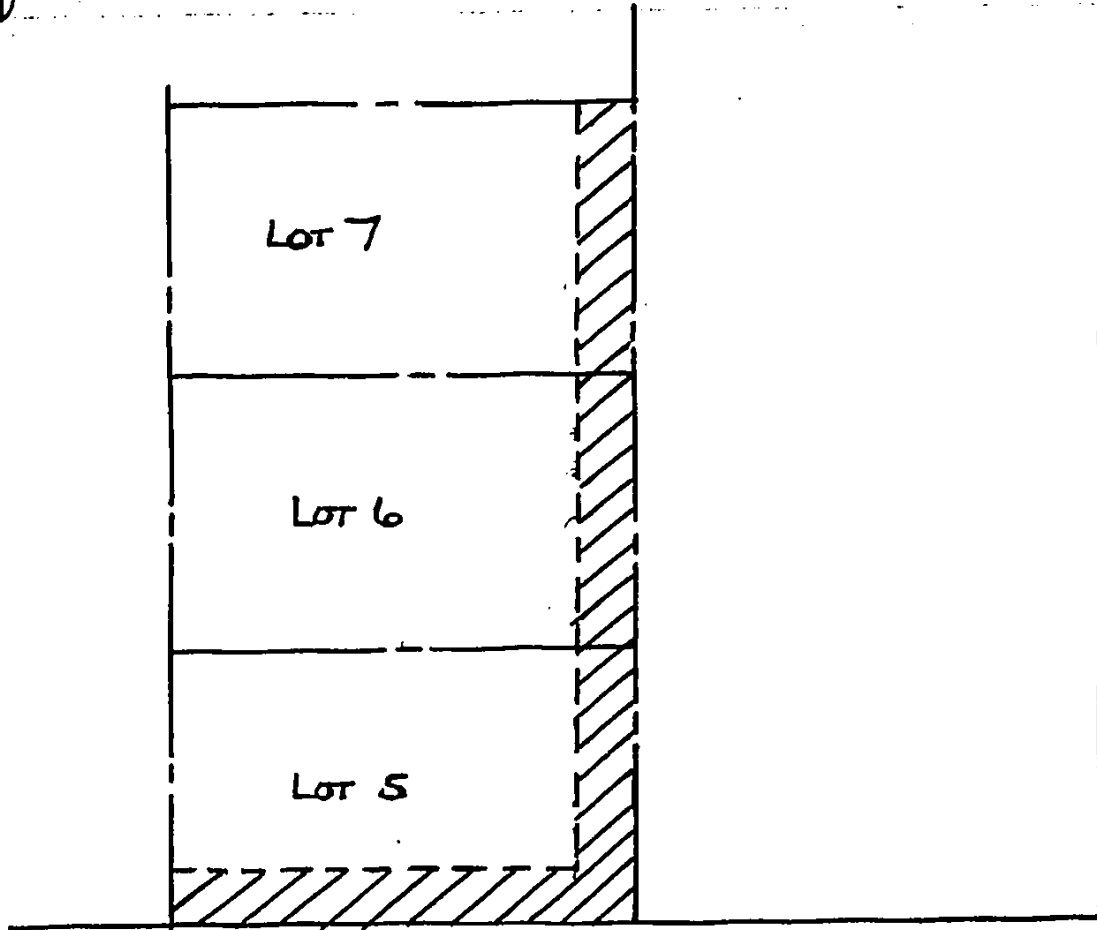
REGISTER'S OFFICE
WAUKESHA COUNTY, WIS } SS
JAN 12 1995

95 JAN 12 AM 11:48
REC-2165 MAR 04 1994
MILWAUKEE, WIS

Richard J. Schaefer
REGISTER OF DEEDS

RETURN TO:
WISCONSIN ELECTRIC POWER COMPANY
PROPERTY RIGHTS & INFORMATION GROUP
333 W. EVERETT ST., A440
MILWAUKEE, WI 53203

pd 14



WASHINGTON AVE.

DIVISION ST.

KEY

 15' EASEMENT STRIP

EXHIBIT "A"
NOT TO SCALE

ID02763901A	BLOCK C	DRAWN BY D. McHUGLI
REVISIONS	ANDREW ADDITION	DATE 9-25-95

Grantor: **VILLAGE OF MUKWONAGO, a
municipal corporation**

By *Jerry W. Gasser*
Jerry W. Gasser Village President

ATTEST:

By *Bernard W. Kahl*
Bernard W. Kahl Village Clerk

Acknowledged before me in Waukesha County, Wisconsin on
October 3, 1995, by **JERRY W. GASSER**, Village President, and
BERNARD W. KAHL, Village Clerk, of **VILLAGE OF MUKWONAGO, a municipal
corporation**, for the municipal corporation, by its authority, and pursuant to
Resolution File No. _____, adopted by its Village Board on
October 3, 1995.

Marilyn A. Stack
Marilyn A. Stack, Deputy Clerk

Notary Public, Waukesha County, WI

My commission expires November 22, 1998

(NOTARY STAMP/SEAL)



RLM 9-25-95

This instrument was drafted by Robert L. Malicki on behalf of Wisconsin
Electric Power Company, PO Box 2046, Milwaukee, Wisconsin 53201.



UIHLEIN WILSON ARCHITECTS

322 East Michigan Street
Milwaukee, WI 53202

telephone | 414.271.8899
facsimile | 414.271.8942
email | office@uihlein-wilson.com

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JJR landscape architecture
planning
design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

REVISIONS		
No.	Date	Description
	11.22.10	85% Submittal
	01.14.11	Bid Set

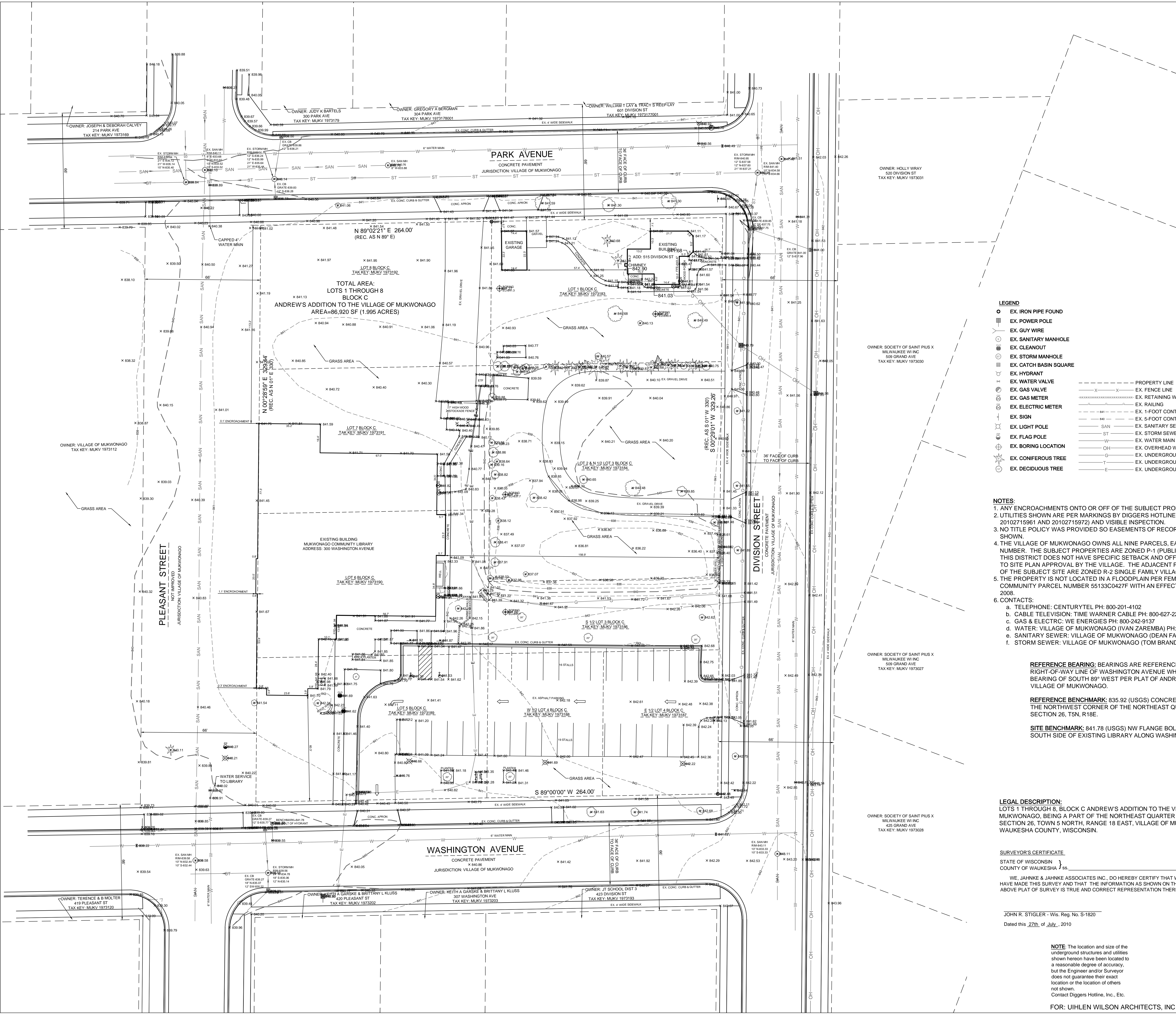
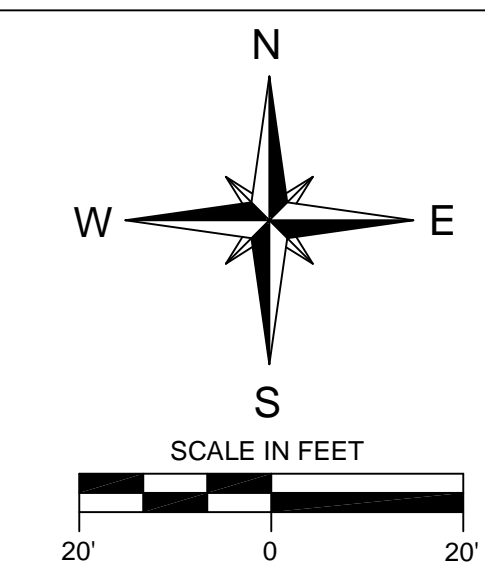
PROJECT Mukwonago Library

OWNER SHEET EXISTING CONDITIONS PLAN

DATE
January 14, 2011

PROJECT NO.
UW-10-103
JJR-50282.000

SHEET NO.
C101



LEGEND

- EX. IRON PIPE FOUND
- EX. POWER POLE
- EX. GUY WIRE
- EX. SANITARY MANHOLE
- EX. CLEANOUT
- EX. STORM MANHOLE
- EX. CATCH BASIN SQUARE
- EX. HYDRANT
- EX. WATER VALVE
- EX. GAS VALVE
- EX. GAS METER
- EX. ELECTRIC METER
- EX. SIGN
- EX. LIGHT POLE
- EX. FLAG POLE
- EX. BORING LOCATION
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- PROPERTY LINE
- EX. FENCE LINE
- EX. RETAINING WALL
- EX. RAILING
- EX. 1-FOOT CONTOUR LINE
- EX. 5-FOOT CONTOUR LINE
- SAN EX. SANITARY SEWER
- ST EX. STORM SEWER
- W EX. WATER MAIN
- OH EX. OVERHEAD WIRES
- G EX. UNDERGROUND GAS
- T EX. UNDERGROUND TELEPHONE
- E EX. UNDERGROUND ELECTRIC

NOTES:

- ANY ENCROACHMENTS ONTO OR OFF OF THE SUBJECT PROPERTIES HAVE BEEN SHOWN.
- UTILITIES SHOWN ARE PER MARKINGS BY DIGGERS HOTLINE (TICKET NUMBERS 20102715961 AND 20102715972) AND VISIBLE INSPECTION.
- NO TITLE POLICY WAS PROVIDED SO EASEMENTS OF RECORD, IF ANY, HAVE NOT BEEN SHOWN.
- THE VILLAGE OF MUKWONAGO OWNS ALL NINE PARCELS, EACH WITH A DIFFERENT TAX KEY NUMBER. THE SUBJECT PROPERTIES ARE ZONED P-1 (PUBLIC AND SEMIPUBLIC DISTRICT). THIS DISTRICT DOES NOT HAVE SPECIFIC SETBACK AND OFFSET REQUIREMENTS. SUBJECT TO SITE PLAN APPROVAL BY THE VILLAGE. THE ADJACENT PROPERTY ON ALL FOUR SIDES OF THE SUBJECT SITE ARE ZONED R-2 SINGLE FAMILY VILLAGE RESIDENTIAL DISTRICT.
- THE PROPERTY IS NOT LOCATED IN A FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PARCEL NUMBER 55133C0427F WITH AN EFFECTIVE DATE OF NOVEMBER 19, 2008.
- CONTACTS:
 - TELEPHONE: CENTURYTEL PH: 800-201-4102
 - CABLE TELEVISION: TIME WARNER CABLE PH: 800-627-2288
 - GAS & ELECTRIC: WE ENERGIES PH: 800-242-9137
 - WATER: VILLAGE OF MUKWONAGO (IVAN ZAREMBA) PH: 262-363-6439
 - SANITARY SEWER: VILLAGE OF MUKWONAGO (DEAN FALKNER) PH: 262-363-6416
 - STORM SEWER: VILLAGE OF MUKWONAGO (TOM BRANDENMUEHL) PH: 262-363-6447

REFERENCE BEARING: BEARINGS ARE REFERENCED TO THE NORTH RIGHT-OF-WAY LINE OF WASHINGTON AVENUE WHICH HAS AN ASSUMED BEARING OF SOUTH 89° WEST PER PLAT OF ANDREW'S ADDITION TO THE VILLAGE OF MUKWONAGO.

REFERENCE BENCHMARK: 835.92 (USGS) CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 26, T5N, R18E.

SITE BENCHMARK: 841.78 (USGS) NW FLANGE BOLT ON HYDRANT AT SOUTH SIDE OF EXISTING LIBRARY ALONG WASHINGTON AVENUE.

LEGAL DESCRIPTION:

LOTS 1 THROUGH 8, BLOCK C ANDREW'S ADDITION TO THE VILLAGE OF MUKWONAGO, BEING A PART OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 26, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN }
COUNTY OF WAUKESHA } ss.
WE, JAHNKE & JAHNKE ASSOCIATES INC., DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

JOHN R. STIGLER - Wis. Reg. No. S-1820
Dated this 27th of July, 2010

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.
FOR: UIHLEIN WILSON ARCHITECTS, INC.



P:\50282.000\CADD\sheet\0282-SH-SURV.dwg



UIHLEIN WILSON ARCHITECTS

322 East Michigan Street
Milwaukee, WI 53202

telephone | 414.271.8899
facsimile | 414.271.8942
email | office@uihlein-wilson.com

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JJR
landscape architecture
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

REVISIONS	No.	Date	Description
		11.22.10	85% Submittal
		01.14.11	Bid Set

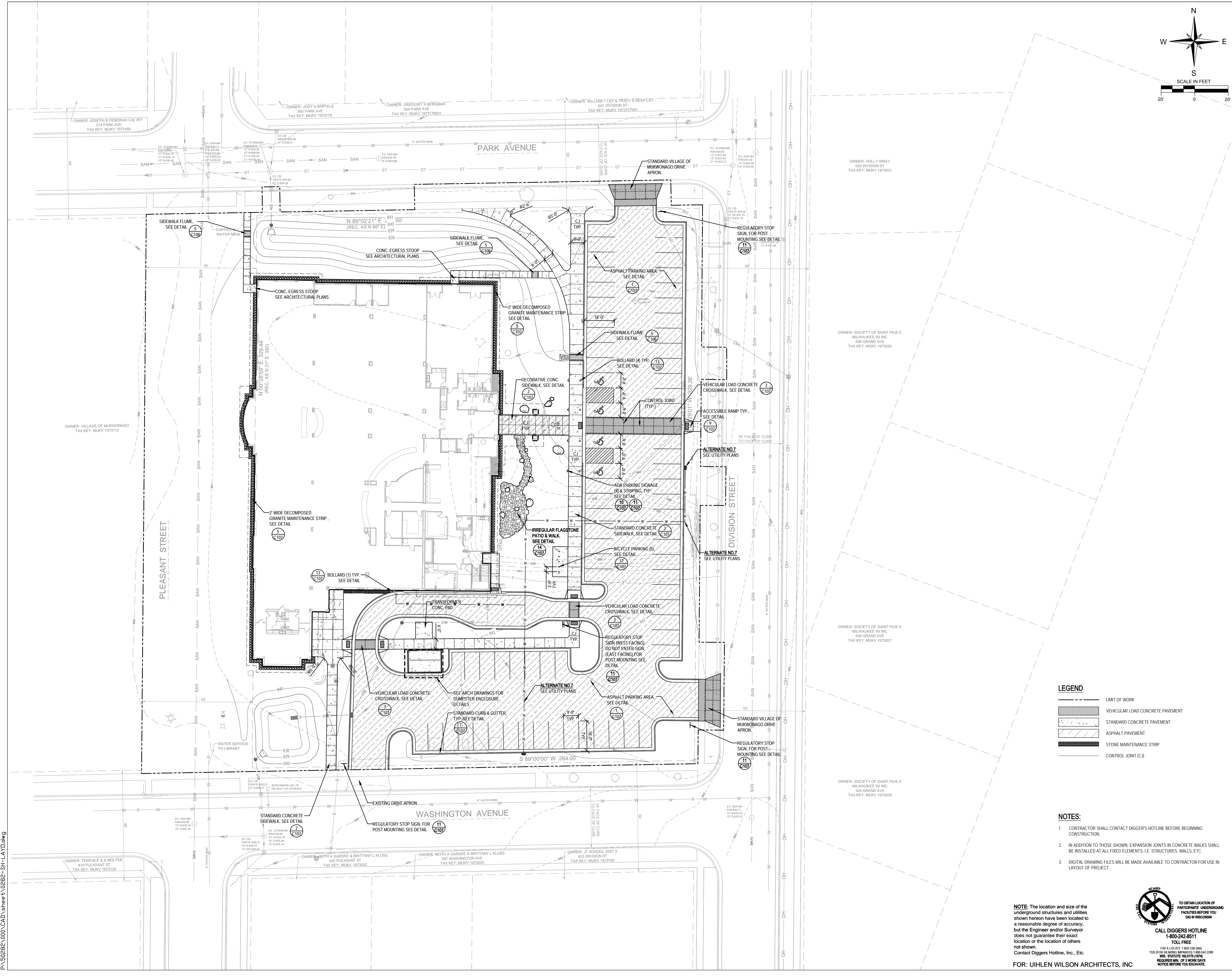
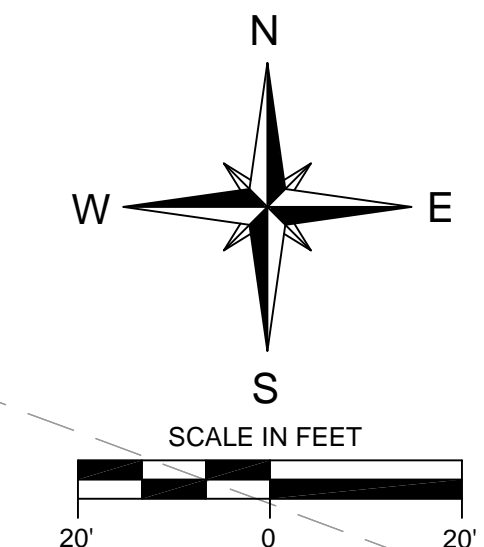
PROJECT Mukwonago Library

Owner
SHEET
LAYOUT PLAN

DATE
January 14, 2011

PROJECT NO.
UW-10-103
JJR-50282.000

SHEET NO.
C103



LEGEND

[Dashed line]	LIMIT OF WORK
[Diagonal hatching]	VEHICULAR LOAD CONCRETE PAVEMENT
[Horizontal hatching]	STANDARD CONCRETE PAVEMENT
[Cross-hatching]	ASPHALT PAVEMENT
[Stippled pattern]	STONE MAINTENANCE STRIP
[Dotted line]	CONTROL JOINT (C/J)

- NOTES:**
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE BEFORE BEGINNING CONSTRUCTION.
 - IN ADDITION TO THOSE SHOWN, EXPANSION JOINTS IN CONCRETE WALKS SHALL BE INSTALLED AT ALL FIXED ELEMENTS, I.E. STRUCTURES, WALLS, ETC.
 - DIGITAL DRAWING FILES WILL BE MADE AVAILABLE TO CONTRACTOR FOR USE IN LAYOUT OF PROJECT.

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.

FOR: UIHLEIN WILSON ARCHITECTS, INC

TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATOR 1-800-338-3866
TDD (711) OR (608) 685-0001
WIS. STATUTE (182.075) (10/14)
REQUIRED MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

P:\50282.000\CAD\sheet\0282-SH-LAY1.dwg

VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES

RESOLUTION NO. 2026-10

A RESOLUTION FOR A CSM REVIEW FOR THE PURPOSE OF PUBLIC RIGHT-OF-WAY DEDICATION
FOR THE EXTENSION OF EAST WOLF RUN AT THE EXISTING EASTERN TERMINUS INTO PARCEL
NUMBER MUKV2135997

WHEREAS, pursuant to Section 45, Article IV of the Mukwonago Code of Ordinances, an application for a CSM Review has been submitted, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by the Village of Mukwonago, and

WHEREAS, the applicant desires to establish the land for public right-of-way purposes, and

WHEREAS, the proposed CSM conforms to the requirements of the Village of Mukwonago Zoning Code for the district in which the property resides.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the CSM for the East Wolf Run Extension for public right-of-way use, based upon the plans submitted to the Village, subject to the conditions listed below:

1. The CSM shall be recorded with the Waukesha County Register of Deeds within 30 days of its approval.

Passed and adopted by the Village of Mukwonago Village Board this 18th day of February, 2026.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Lana Kropf, Village Clerk

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission
 FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.
 REPORT DATE: February 2, 2026
 MEETING DATE: February 10, 2026, 6:30 P.M.
 SUBJECT: East Wolf Run Extension – CSM Review

BASIC INFORMATION	
Project:	East Wolf Run Extension CSM
Applicant:	Village of Mukwonago
Professional Land Surveyor:	Baiba Rozite – Ruekert & Mielke, Inc.
Request:	CSM Application Approval
Staff Recommendation:	Approve

PARCEL DATA/CHARACTERISTICS	
Tax Key:	MUKV2135997
Existing Acreage:	0.208 Acres of Right-of-Way
Current Use:	Agriculture
Proposed Use:	Agriculture
Reason for Request:	CSM Approval
Land Use Classification:	Agriculture to Public Right-of-Way
Zoning Classification:	A-1

Project Summary & Overview

The Village of Mukwonago is seeking to obtain a dedication of right-of-way from the Greenwald Family Partnership for the extension of East Wolf Run east of the current terminus of the roadway. The current property owner agrees to the CSM and right-of-way dedication. The necessary documents have been drafted including a CSM for the division of land, temporary construction easement, owner’s certificate dedicating land for public right-of-way use, and resolution accepting the dedicated lands.

The Plan Commission has the authority and jurisdiction to review and recommend approval or denial of the CSM to the Village Board for final consideration. The provided temporary construction easement and owner’s certificate, and resolution accepting the dedicated lands are provided for reference only to the Plan Commission to see how the entire approval fits together.

~Mukwonago, Village of > 12-10215 > 2026 Miscellaneous Planning > East Wolf Run Extension CSM > Staff Report-20260202 - East Wolf Run Extension - CSM~

Staff Report – CSM
East Wolf Run Extension - CSM
February 2, 2026
Page 2

Staff Review

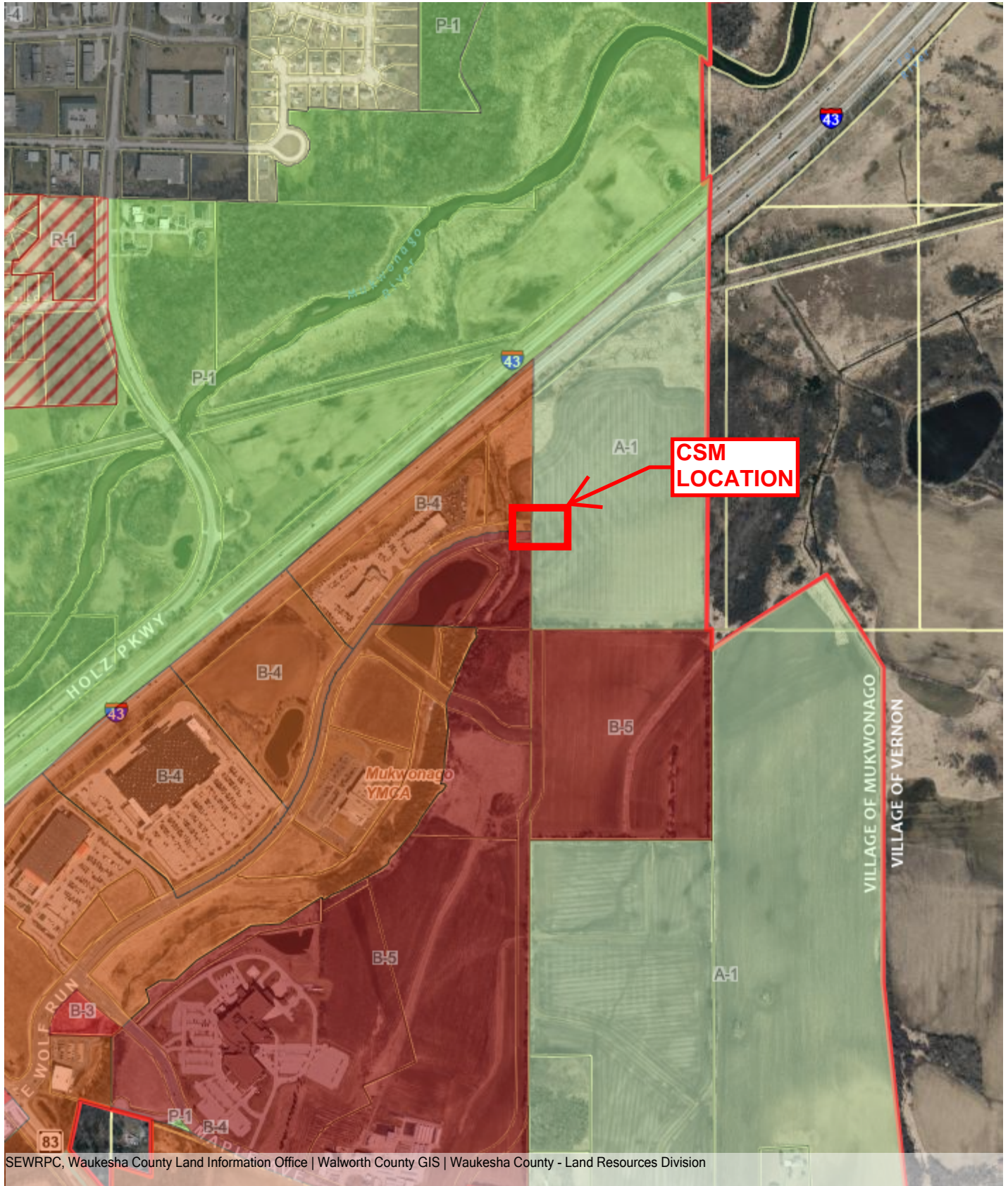
Engineering:	No comments.
Public Works	No comments.
Utilities	No comments.
Police	No comments.
Fire:	No comments.
Building Inspection	No comments.
Planning	No comments.

Recommended Action

Staff recommends the Village Board approve the CSM as outlined in the attached resolution.

Attachments

1. Proposed CSM
2. Supporting Application Documents



SEWRPC, Waukesha County Land Information Office | Walworth County GIS | Waukesha County - Land Resources Division

0 350 700
ft



Scale: 1 in. = 1166 ft.
1 : 13997

Village of Mukwonago
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

Notes

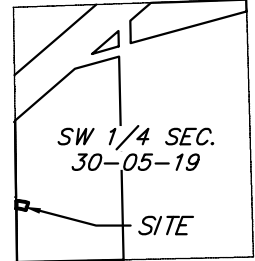
DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SW 1/4 - SW 1/4 SECTION 30, T 05 N, R 19 E,
VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

C. S. M. 1 1 2 2 3
L O I 1

VICINITY MAP



SCALE: 1" = 2000'

UNPLAIED
LANDS

$L=125.55'$, $R=396.00'$
 $D=18^{\circ}09'54''$
 $LC=S80^{\circ}40'06''E\ 125.02'$
 $TAN = S89^{\circ}45'04''E, S71^{\circ}35'09''E$

$S89^{\circ}45'04''E$
1.26'

E. WOLF RUN
120' PUBLIC R/W

E. WOLF RUN

80' R/W
DEDICATED TO THE PUBLIC
AREA: 9,081 SQ. FT OR 0.208 AC.

$N89^{\circ}45'04''W$
0.03'

$L=100.18'$, $R=316.00'$
 $D=18^{\circ}09'54''$

$LC=N80^{\circ}40'06''W\ 99.77'$
 $TAN = N71^{\circ}35'09''W, N89^{\circ}45'04''W$

P.O.B.
DEDICATION

R/W EASEMENT
(by separate document)

$S00^{\circ}37'59''E$
28.00'

C. S. M. 9 6 3 8
Q U I L Q I 2

$L=114.08'$, $R=62.45'$
 $D=104^{\circ}39'42''$
 $LC=N83^{\circ}08'02''E\ 98.87'$

UNPLAIED LANDS

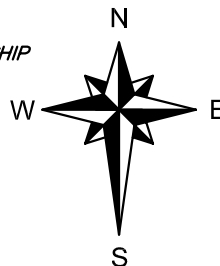
Dated: 11/11/2025

[Handwritten Signature]

- IR 3/4" X 18" REBAR SET 1.5 LB/FT.
- CONCRETE MONUMENT WITH BRASS CAP

PREPARED FOR:
GREENWALD FAMILY PARTNERSHIP
C/O VILLAGE OF MUKWONAGO
440 RIVER CREST COURT
MUKWONAGO, WI 53149

PREPARED BY:
RUEKERT & MIELKE, INC.
W233 N2080 RIDGEVIEW PKWY.
WAUKESHA, WI 53188



BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE SYSTEM, SOUTH ZONE, NAD 83 W. LINE OF SW 1/4 OF 30-05-19 BEARING $N00^{\circ}37'59''W$.



SCALE IN FEET

SHEET 1 OF 3

Ruekert Mielke

Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S. (11/11/2025)

C:\USERS\BROZITE\IDCACCDCS\IRUEKERT & MIELKE, INC-112 - VILLAGE OF MUKWONAGO - WOLF RUN EXTENSION\PROJECT FILES\DWG\EXHIBITS\CSM RIGHT OF WAY DEDICATION.DWG

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE SW 1/4 - SW 1/4 SECTION 30, T 05 N, R 19 E,
VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
COUNTY OF WAUKESHA } SS

I, Baiba M. Rozite, Ruckert & Mielke, Inc., Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped part of the Southwest 1/4 of the Southwest 1/4 of Section 30, Township 05 North, Range 19 East, in the Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Southwest corner of said Section 30; thence North 00°37'59" West, 557.43 feet along the west line of said Southwest 1/4 to the Point of Beginning; continue thence North 00°37'59" West, 80.01 feet along said west line; thence South 89°45'04" East, 1.26 feet to the beginning of a 396.00 foot radius curve to the right whose chord bears South 80°40'06" East, 125.02 feet; thence easterly 125.55 feet along the arc of said curve to a point of non-tangency; thence South 18°24'51" West, 80.00 feet to the beginning of a 316.00 foot radius non-tangent curve to the left whose chord bears North 80°40'06" West, 99.77 feet; thence westerly 100.18 feet along the arc of said curve; thence North 89°45'04" West, 0.03 feet to the Point of Beginning.

Containing 9,081 square feet or 0.208 acres of land, more or less.

That I have made this survey, land division and map by the direction of the Greenwald Family Partnership, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Mukwonago land division ordinance in surveying, dividing and mapping of same.

Baiba M. Rozite, PLS - 2351

Dated: 11/11/2025



C:\USERS\BROZITE\IDCACCDCOCSRUEKERT & MIELKE, INC-112 - VILLAGE OF MUKWONAGO - WOLF RUN EXTENSION\PROJECT FILES\DWG\EXHIBITS\CSM RIGHT OF WAY DEDICATION.DWG

CERTIFIED SURVEY MAP NO. _____

*BEING PART OF THE SW 1/4 - SW 1/4 SECTION 30, T 05 N, R 19 E,
VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN*

OWNER'S CERTIFICATE OF DEDICATION:

The Greenwald Family Partnership, as owner, does hereby certify that they caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map. The Greenwald Family Partnership, as owner, does further certify that this Certified Survey Map is to be submitted to the following for approval or objection:

The Village of Mukwonago

WITNESS the hand and seal of said owner(s) this _____ day of _____, 20____.

Name Title

STATE OF WISCONSIN }
COUNTY OF _____ } SS

Personally came before me this _____ day of _____, 20 ____, _____
_____ of the Greenwald Family Partnership, to me known to be the _____
_____ of said partnership.

Notary Public, _____ County, _____ My Commission Expires _____

VILLAGE BOARD APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago, is hereby approved by the Village Board of the Village of Mukwonago.

Dated this _____ day of _____, 20 ____ .

Name Title

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Mukwonago.

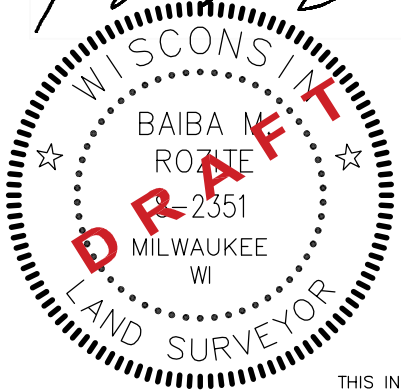
Name Title

PLAN COMMISSION APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago is hereby approved by the Village of Mukwonago Plan Commission.

Name Title

Dated: 11/11/2025



THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S. (11/11/2025)

**EAST WOLF RUN
TEMPORARY EASEMENT
AGREEMENT**

Document Number

THIS EASEMENT AGREEMENT is entered into as of the ____ day of January 2026, by and between **THE GREENWALD FAMILY PARTNERSHIP** (a Wisconsin corporation) (the “Grantor”), and the **VILLAGE OF MUKWONAGO**, a municipal corporation located in Waukesha County, State of Wisconsin (the “Grantee” or the "Village").

WITNESSETH:

WHEREAS, the Grantor is the owner in fee simple of certain unplatted real property located in the Village of Mukwonago, Waukesha County, Wisconsin, with a Parcel Identification Number (PIN) of 2135-997, a portion of which is intended as the subject of this easement, and that portion is more particularly described on Exhibit A attached hereto and incorporated herein (the “Grantor Property”); and

WHEREAS, the Grantee intends to extend E. Wolf Run to provide additional access on to Grantor’s property, which is more fully described in the attached Exhibit A, which is incorporated herein; and

WHEREAS, the parties previously entered into a separate agreement whereby the Village committed to extending E. Wolf Run east on to Grantor’s property to accommodate future anticipated development; and

WHEREAS, the first phase of the E. Wolf Run expansion will extend the road a short distance on to the Grantor’s property, where a circular cul-de-sac will be located; and

WHEREAS, when E. Wolf Run is expanded in the future to accommodate the anticipated development, the total right of way dedication for the road will be 80 feet. However, in order to accommodate the circular cul-de-sac that will be in place until such time as the road is further expanded, more than that 80-foot width is needed; and

WHEREAS, the purpose of this easement is to accommodate that cul-de-sac, until such time as E. Wolf Run is expanded further, at which time the easement area will no longer be needed;

WHEREAS, the benefit of having E. Wolf Run expanded and allowing access to its property and facilitating possible future development is hereby acknowledged as constituting good and valuable consideration for the granting of this easement;

Recording Area

Name and Return Address:

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

See attached Exhibit A

Legal Description and diagram of the portion of the Property Located in Mukwonago, Wisconsin, with a Parcel Identification Number (PIN) of 2135-997, that is intended as the subject of this Easement Agreement

WHEREAS, for the reasons enumerated herein, the Grantor desires to convey and the Grantee desires to accept a temporary easement (the "Easement") over that part of the Grantor Property as described in Exhibit A and labeled as "R/W EASEMENT", (the "Easement Area").

NOW THEREFORE, in consideration of the mutual promises and covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Grantor and the Grantee agree as follows:

A. **Temporary Limited Easement.** The Grantor gives, grants and conveys to the Grantee a temporary exclusive easement in, under, upon and across the Easement Area for the following purposes and uses:

1. To construct, install, maintain, and repair the extension of E. Wolf Run onto Grantee's property as shown on attached Exhibit A, which will include a cul-de-sac on the Easement Area;
2. For the Easement Area to be used as part of the expanded E. Wolf Run ending cul-de-sac, until such time as the road is expanded and the cul-de-sac is no longer needed;
3. The construction, installation, maintenance, repair, replacement and removal of the cul-de-sac shall be performed by or on behalf of the Grantee and at its sole expense;
4. Grantee shall, at its sole expense and in a timely fashion, restore and maintain the surface of any additional part of the Grantor's Property disturbed by the Grantee in performing the activities set forth in Paragraph A.1 above as nearly as reasonably possible to the condition as existed immediately prior to commencement of such activities.

B. **Indemnification; Hold Harmless.** The Grantee agrees to indemnify and hold Grantor, and its officers, directors, employees, successors and assigns, and its mortgagees, harmless and defend them against, costs, claims, demands and causes of action, including and not limited to attorneys fees and cost arising out of or resulting from Grantee's use, occupancy, construction, repair or maintenance of the Easement Area, save and except for those costs, claims, demands and causes of action that are solely attributable to the fault of Grantor. Nothing contained within this Agreement is intended to grant any rights to third parties or be a waiver by the Grantee of any limitations to liability or immunities as contained within the law including those within Wis. Stats. § 893.80.

C. **Term.** The term of this Easement Agreement and the easements, rights and obligations granted and conveyed hereunder shall run until E. Wolf Run is further expanded onto Grantor's property, and the cul-de-sac removed to accommodate such expansion.

D. **Extensions and Renewals.** By virtue of § 893.33 of the Wisconsin Statutes currently in effect, easements for the use of real estate set forth in a recorded instrument may be unenforceable after the expiration of various time periods, unless an instrument as prescribed in the statute is filed for record. It is hereby agreed that the easements and conditions set forth in this Easement Agreement are to be extended beyond the applicable time period set forth in the statute. Any party hereto or any successor or assign of such party may, from time to time, file of record the proper instrument for the purpose of extending the Easement and conditions stated herein beyond the statutory period so that such Easement and conditions are not terminated.

GRANTEE:

Village of Mukwonago

By: _____
Fred Winchowky, Village President

By: _____,
Lana Kropf, Village Clerk

STATE OF WISCONSIN)
)ss.
COUNTY OF WAUKESHA)

Personally came before me this ____ day of January, 2026, the above-named Fred Winchowky and Lan Kropf, to be known to be the Village President and Village Clerk, of the Village of Mukwonago, Wisconsin, and to be known to be the persons who executed the foregoing instrument and acknowledged the same.

* _____,
Notary Public, Waukesha County, Wisconsin
My commission expires: _____

*Print Name of Notary Public

THIS INSTRUMENT WAS DRAFTED BY:
Attorney Nathan J. Bayer

EXHIBIT "A"

RIGHT-OF-WAY EASEMENT FOR WOLF RUN
BEING PART OF THE SW 1/4 - SW 1/4 SECTION 30, T 05 N, R 19 E,
VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

C. S. M. 1 1 2 2 3
L O I 1

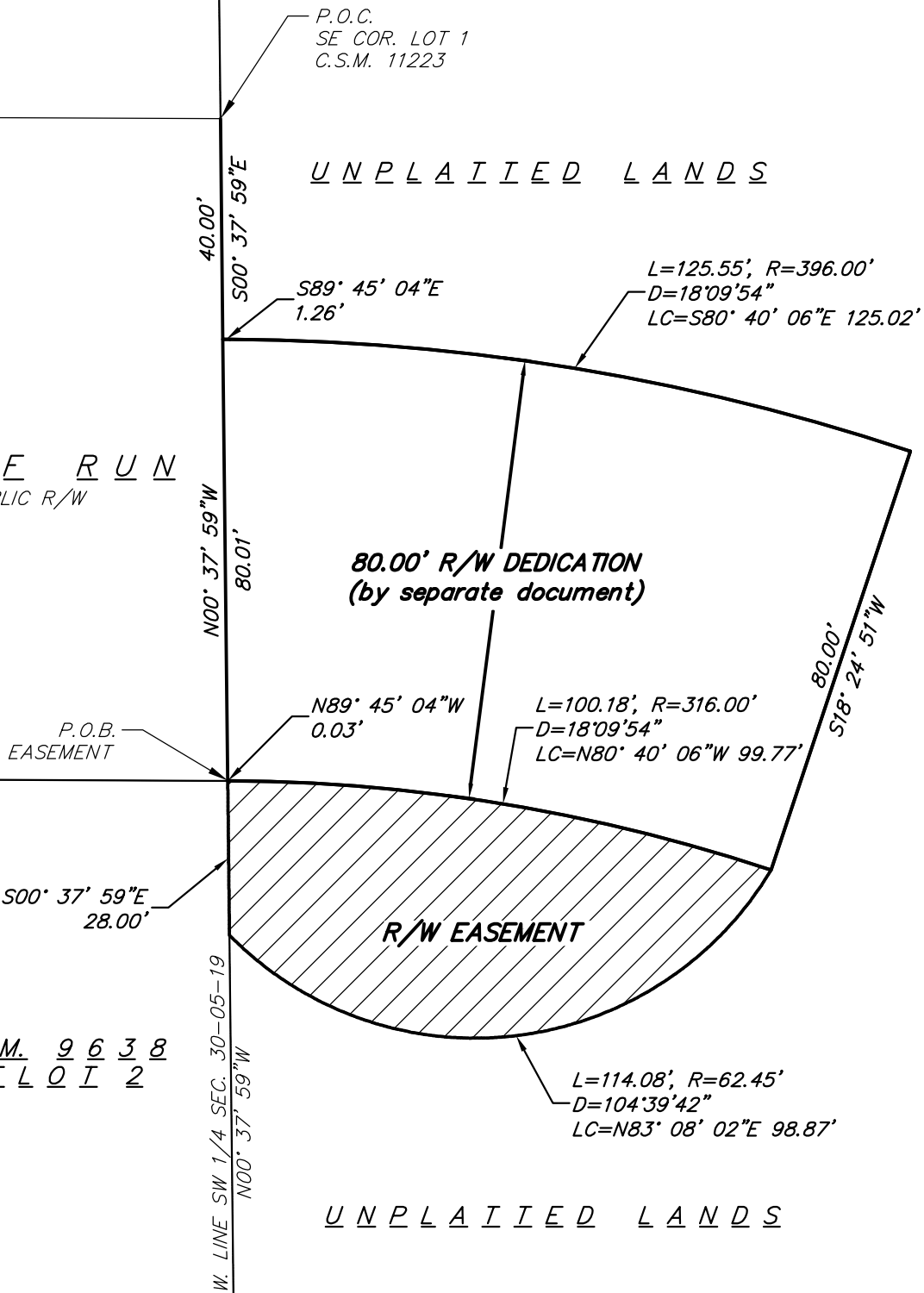
UNPLAINTED LANDS

E. WOLF RUN
120' PUBLIC R/W

80.00' R/W DEDICATION
(by separate document)

R/W EASEMENT

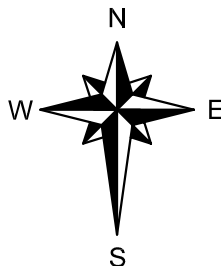
UNPLAINTED LANDS



C. S. M. 9 6 3 8
Q U I L O I 2

PREPARED FOR:
VILLAGE OF MUKWONAGO
440 RIVER CREST COURT
MUKWONAGO, WI 53149

PREPARED BY:
RUEKERT & MIELKE, INC.
W233 N2080 RIDGEVIEW PKWY.
WAUKESHA, WI 53188



SCALE IN FEET

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE SYSTEM, SOUTH ZONE, NAD 83 W. LINE OF SW 1/4 OF 30-05-19 BEARING N00° 37' 59"W.

SHEET 1 OF 2

Ruekert Mielke

Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

EXHIBIT "A"

RIGHT-OF-WAY EASEMENT FOR WOLF RUN

BEING PART OF THE SW 1/4 – SW 1/4 SECTION 30, T 05 N, R 19 E,
VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

Legal Description

That part of the Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 30, Township 05 North, Range 19 East, in the Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the southeast corner of Lot 1 of Certified Survey Map No. 11223 at the intersection of the north right-of-way of E. Wolf Run and the west line of the Southwest $\frac{1}{4}$ of said Section 30; thence South 00°37'59" East, 120.01 feet along the east line of E. Wolf Run right-of-way to the Point of Beginning; continue thence South 00°37'59" East, 28.00 feet along the east line of Outlot 2 of Certified Survey Map No. 9638 to the beginning of a 62.45 foot radius non-tangent curve to the left whose chord bears North 83°08'02" East, 98.87 feet; thence northeasterly 114.08 feet along the arc of said curve to a point of non-tangency and the beginning of a 316.00 foot radius curve to the left whose chord bears North 80°40'06" West, 99.77 feet; thence westerly 100.18 feet along the arc of said curve; thence North 89°45'04" West, 0.03 feet to the east line of E. Wolf Run and to the Point of Beginning.

PREPARED FOR:

VILLAGE OF MUKWONAGO
440 RIVER CREST COURT
MUKWONAGO, WI 53149

PREPARED BY:

RUEKERT & MIELKE, INC.
W233 N2080 RIDGEVIEW PKWY.
WAUKESHA, WI 53188

**OWNER'S CERTIFICATE
DEDICATING LAND FOR
PUBLIC RIGHT OF WAY**

Document Number

THIS OWNER'S CERTIFICATE is executed as of the ___ day of January 2026, on behalf of **THE GREENWALD FAMILY PARTNERSHIP** (a Wisconsin corporation).

WITNESSETH:

AS AUTHORIZED REPRESENTATIVE OF OWNER, I hereby certify that I have caused the land described herein to be surveyed, divided, mapped, and dedicated as represented on the accompanying Certified Survey Map, to accommodate the extension of East Wolf Run in the Village of Mukwonago, Wisconsin. I also certify that this Certified Survey Map is required to be submitted to the Village of Mukwonago, Wisconsin, for approval pursuant to Wis. Stat. § 236.34(1m)(e).

Recording Area

Name and Return Address:

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

See attached Exhibit A

Certified Survey Map for the extension of E. Wolf Run in Mukwonago, Wisconsin

Greenwald Family Partnership

By: _____
signature

By: _____
title

STATE OF WISCONSIN)
)ss.
COUNTY OF WAUKESHA)

Personally came before me this ____ day of January, 2026, the above-named _____, to be known to be the _____ of the Greenwald Family Partnership, and to be known to be the person who executed the foregoing instrument and acknowledged the same.

* _____,
Notary Public, Waukesha County, Wisconsin
My commission expires: _____

*Print Name of Notary Public

THIS INSTRUMENT WAS DRAFTED BY:
Attorney Nathan J. Bayer

RESOLUTION 2025-

Acceptance of Dedication of Right of Way

The Village Board of the Village of Mukwonago, Waukesha County, Wisconsin, (Village) by this Resolution, adopted by a majority of the Village Board on a roll call vote with a quorum present and proper notice having been given for said meeting, resolves and declares as follows:

The public way described below and dedicated to the Village of Mukwonago by The Greenwald Family Partnership (a Wisconsin Corporation), as Grantor, and the Village of Mukwonago, as Grantee, dated ____, 2026, and recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on ____, 2026, [include recording information after recorded here], is accepted pursuant to Wis. Stat. § 66.1024.

It is in the public interest that this dedication of the public way described herein is accepted by the Village.

The public way to be dedicated to the Village is described as follows:

Return to:

Lana Kropf, Clerk-Treasurer
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Parcel Number: MUKV 1962996009

The Village Clerk shall properly post or publish this Resolution as required under Wis. Stat. § 60.80.

Approved this ___ day of ____, 2026.

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Diana Dykstra, Village Clerk-Treasurer

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this ____ day of _____ 2026, the persons described above, Fred Winchowky, Village President, and Diana Dykstra, Village Clerk, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the ____ day of _____, 2026.

NOTARY PUBLIC

My Commission Expires:

Drafted by

FOR REFERENCE ONLY

VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES

RESOLUTION NO. 2026-___

A RESOLUTION FOR A CSM REVIEW FOR THE CREATION OF MARSH VIEW DRIVE FOR PUBLIC
RIGHT-OF-WAY PURPOSES ACROSS MULTIPLE PARCELS

WHEREAS, pursuant to Section 45, Article IV of the Mukwonago Code of Ordinances, an application for a CSM Review has been submitted, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by the Village of Mukwonago, and

WHEREAS, the applicant is seeking approval of a CSM for the purpose of dedicating lands for public right-of-way use, and

WHEREAS, the proposed CSM conforms to the requirements of the Village of Mukwonago Zoning Code for the district in which the property resides.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the CSM for Marsh View Drive, based upon the plans submitted to the Village, subject to the conditions listed below:

1. The CSM shall be recorded with the Waukesha County Register of Deeds within 30 days of its approval.

Passed and adopted by the Village of Mukwonago Village Board this 18th day of February, 2026.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Lana Kropf, Village Clerk

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission
 FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.
 REPORT DATE: February 2, 2026
 MEETING DATE: February 10, 2026, 6:30 P.M.
 SUBJECT: Marsh View Drive – CSM Review

BASIC INFORMATION	
Project:	Marsh View Drive CSM
Applicant:	Village of Mukwonago
Professional Land Surveyor:	Baiba Rozite – Ruekert & Mielke, Inc.
Request:	CSM Application Approval
Staff Recommendation:	Approve

PARCEL DATA/CHARACTERISTICS	
Tax Key:	See CSM
Existing Acreage:	See CSM for Acreage
Current Use:	Business
Proposed Use:	Business
Reason for Request:	CSM Approval
Land Use Classification:	Business to Public Right-of-Way Use
Zoning Classification:	Business/Public Right-of-Way

Project Summary & Overview

The Village of Mukwonago is seeking approval of a CSM to dedicate public right-of-way for the future extension of Marsh View Drive across lands that are currently owned by DC Properties LLP. The current property owner has approved of the CSM and final execution of the documents is forthcoming.

The CSM is necessary to establish the public right-of-way for public roadway purposes. The necessary documents have been created including all dedicating and accepting resolutions to create the proposed right-of-way shown on the provided CSM. The Village Plan Commission has authority and jurisdiction to review and recommend approval or denial of CSMs to the Village Board and the supporting documents are provided for the purpose of showing how everything fits together in the final CSM.

Staff Report – CSM
Marsh View Drive - CSM
February 2, 2026
Page 2

Staff Review

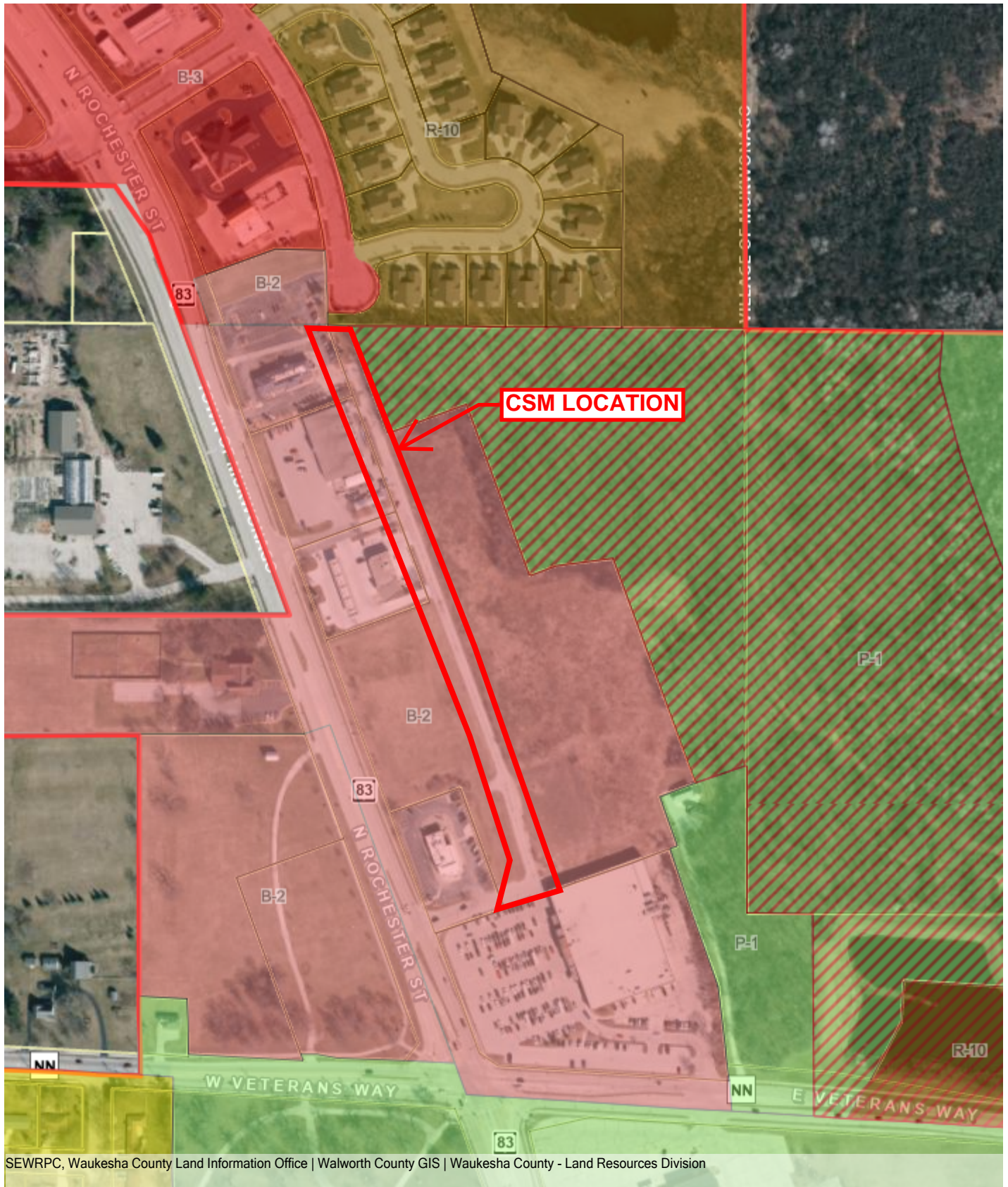
Engineering:	No comments.
Public Works	No comments.
Utilities	No comments.
Police	No comments.
Fire:	No comments.
Building Inspection	No comments.
Planning	No comments.

Recommended Action

Staff recommends the Village Board approve the CSM as outlined in the attached resolution.

Attachments

1. Proposed CSM
2. Supporting Application Documents



SEWRPC, Waukesha County Land Information Office | Walworth County GIS | Waukesha County - Land Resources Division

0 100 200
ft



Scale: 1 in. = 419 ft.
1 : 5039

Village of Mukwonago
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

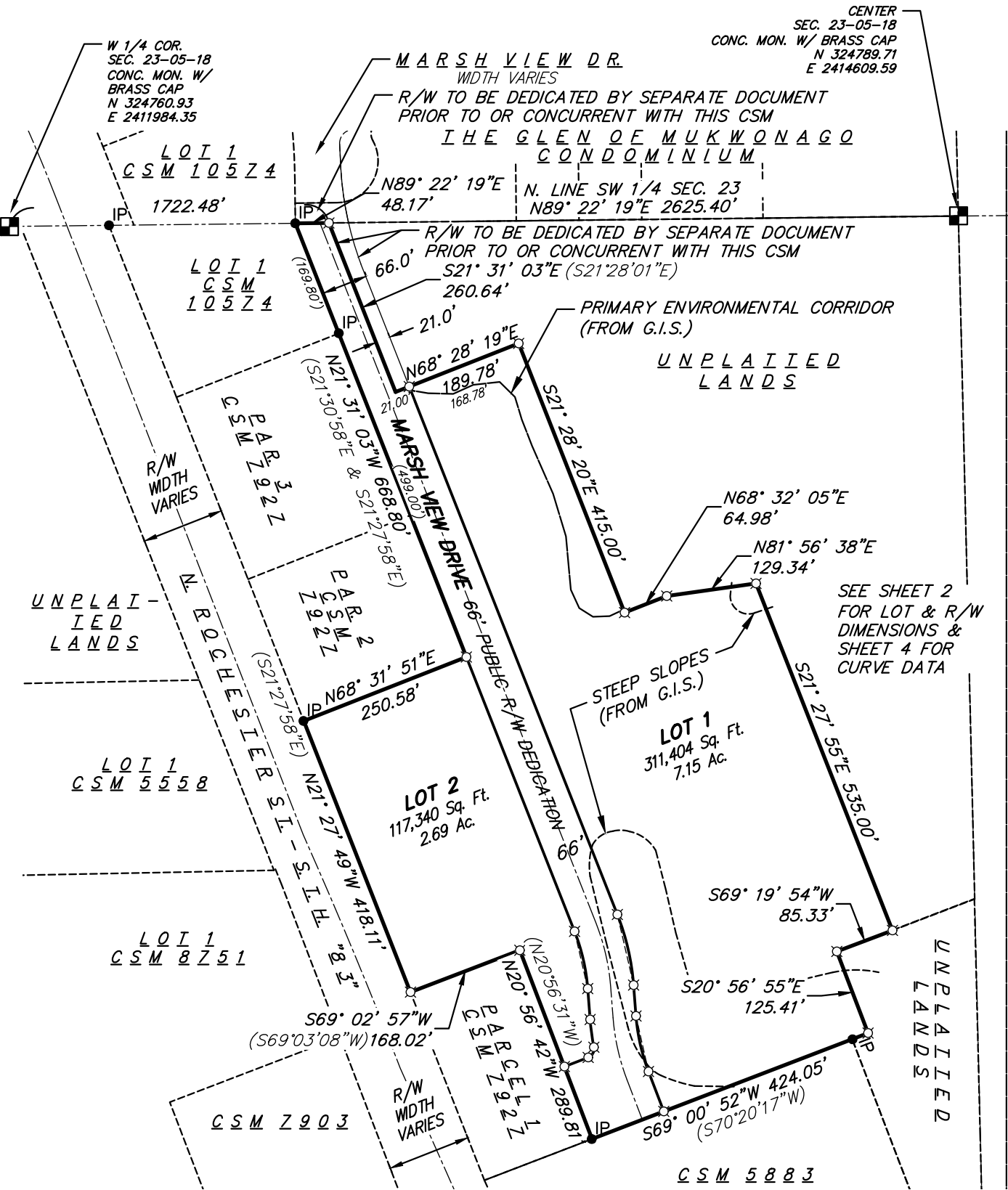
Notes

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

CERTIFIED SURVEY MAP NO. _____

PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 5 NORTH,
RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

RM814PB
C:\USERS\BROZITE\DCACCD\DCSIRUEKERT & MIELKE, INC.\12 - VILLAGE OF MUKWONAGO - MARSHVIEW ROAD\PROJECT FILES\DWG\C\SM\Z-C\SMONEMR.DWG



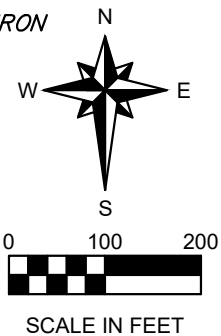
SEE SHEET 2 FOR LOT & R/W DIMENSIONS & SHEET 4 FOR CURVE DATA



- IP FOUND 1" DIAM. IRON PIPE
- ⊗ SET 3/4" DIAM. X 18" LONG IRON ROD, MIN. WT. 1.13 LBS/FT.
- FOUND CONCRETE MONUMENT WITH BRASS CAP

PREPARED FOR:
DC PROPERTIES LLP
1243 FOX RIVER CT
MUKWONAGO, WI 53149-9539

PREPARED BY:
RUEKERT & MIELKE, INC.
W233 N2080 RIDGEVIEW PKWY.
WAUKESHA, WI 53188



BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, NAD 83, SOUTH ZONE, NORTH LINE OF SW 1/4 OF 23-05-18 BEARS N 89°22'19" E.

SHEET 1 OF 5



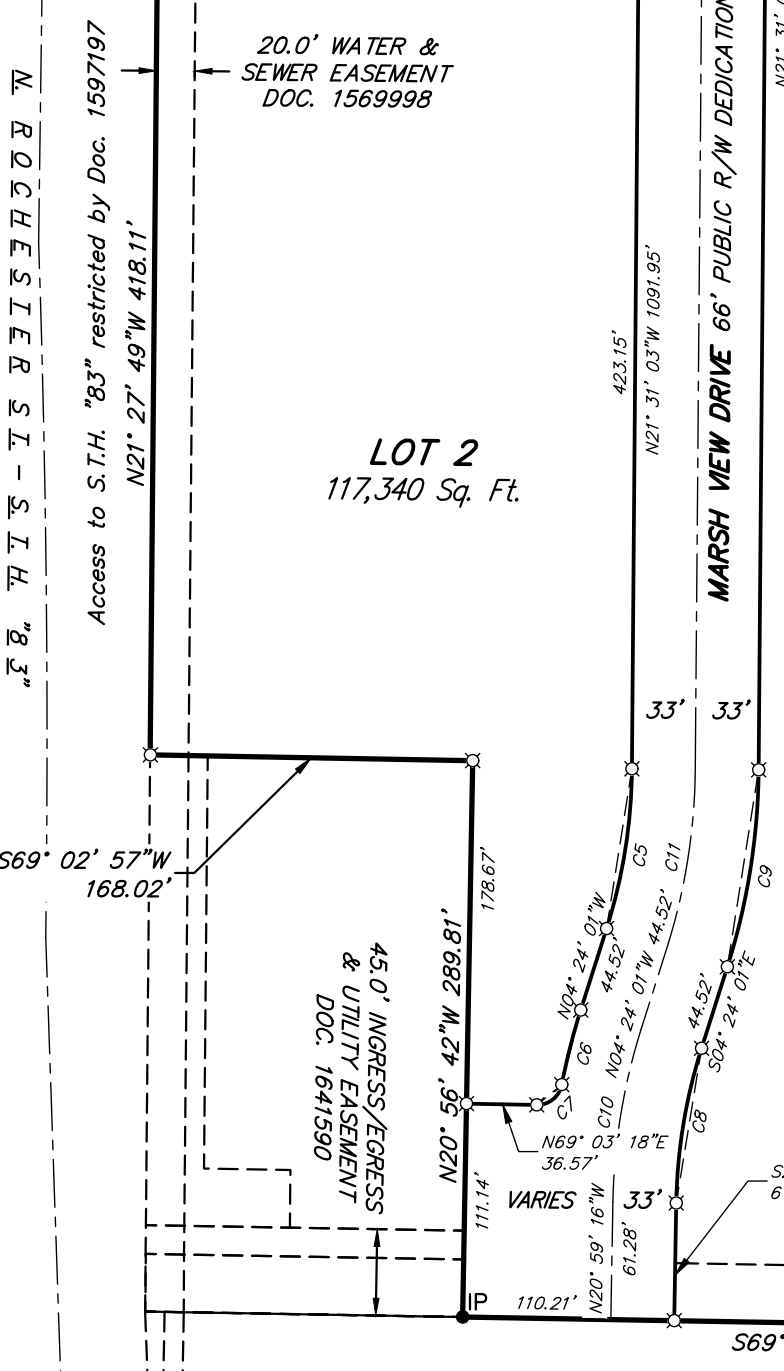
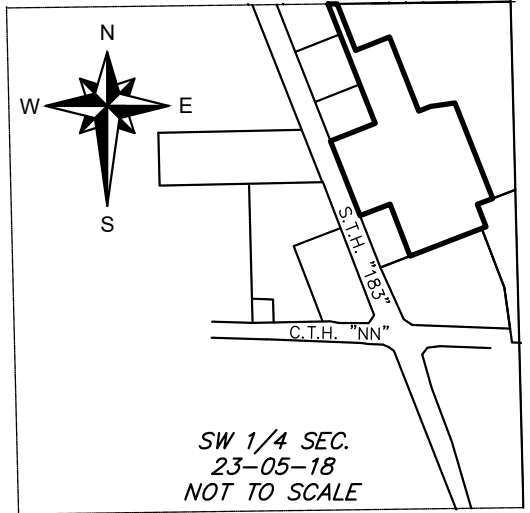
THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S., CHECKED BY T. PLACEK (1/28/2026)

CERTIFIED SURVEY MAP NO. _____

PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

See Sheet 1 for northerly portion of Marsh View Drive.

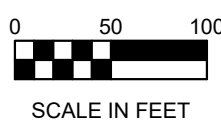
LOCATION MAP



SEE SHEET 4 FOR CURVE DATA

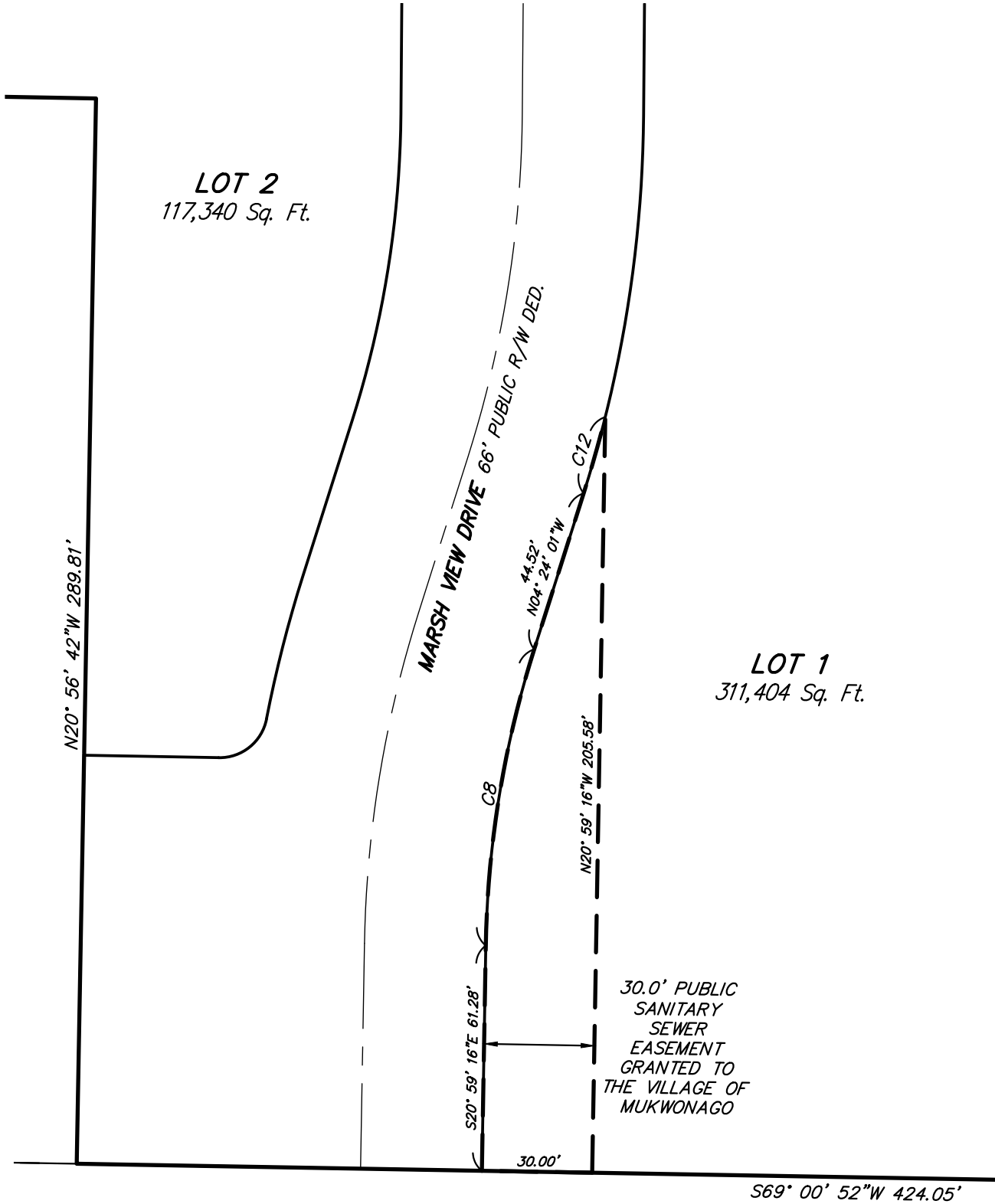


- IP FOUND 1" DIAM. IRON PIPE
- α SET 3/4" DIAM. X 18" LONG IRON ROD, MIN. WT. 1.13 LBS/FT.
- FOUND CONCRETE MONUMENT WITH BRASS CAP

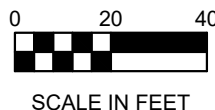
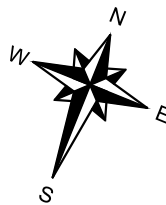


CERTIFIED SURVEY MAP NO. _____

PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN



SEE SHEET 4 FOR CURVE DATA



SCALE IN FEET

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, NAD 83, SOUTH ZONE, NORTH LINE OF SW 1/4 OF 23-05-18 BEARS N 89°22'19" E.

SHEET 3 OF 5



RM814PB

CERTIFIED SURVEY MAP NO. _____

PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 5 NORTH,
RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
COUNTY OF WAUKESHA } SS

I, Baiba M. Rozite, Ruckert & Mielke, Inc., Wisconsin Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped part of the NE 1/4 and the SE 1/4 of the SW 1/4 of Section 23, Township 5 North, Range 18 East, in the Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the West 1/4 corner of said Section 23; thence North 89°22'19" East, 1722.48 feet along the north line of said SW 1/4 section to the point of beginning of this description; continue thence North 89°22'19" East, 48.17 feet along said north line; thence South 21°31'03" East, 260.64 feet; thence North 68°28'19" East, 189.78 feet; thence South 21°28'20" East, 415.00 feet; thence North 68°32'05" East, 64.98 feet; thence North 81°56'38" East, 129.34 feet; thence South 21°27'55" East, 535.00 feet; thence South 69°19'54" West, 85.33 feet; thence South 20°56'55" East, 125.41 feet to the easterly extension of the north line of Certified Survey Map No. 5883; thence South 69°00'52" West, 424.05 feet along said north line and its extension to the easterly line of Parcel 1 of Certified Survey Map No. 7927; thence North 20°56'42" West, 289.81 feet along said easterly line to the northerly line of said Parcel 1; thence South 69°02'57" West, 168.02 feet along said northerly line to the easterly line of N. Rochester Street - S.T.H. "83"; thence North 21°27'49" West, 418.11 feet along said easterly line to the southerly line of Parcel 2 of said Certified Survey Map No. 7927; thence North 68°31'51" East, 250.58 feet along said southerly line to the easterly line of said Parcel 2 and Parcel 3 of said Certified Survey Map No. 7927 and the easterly line of Lot 1 of Certified Survey Map No. 10574; thence North 21°31'03" West, 668.80 feet along said easterly line to the point of beginning. Containing 518,836 square feet or 11.911 acres of land, more or less. The right-of-way dedication of Marsh View Drive contains 90,091 square feet of land, more or less.

That I have made this survey, land division and map by the direction of DC Properties LLP, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and Chapter 45 of the Village of Mukwonago land division ordinance in surveying, dividing and mapping of same.

Baiba M. Rozite, PLS - 2351
Date of field work: 9/23/2025



CURVE TABLE

CURVE #	RADIUS	DELTA	CHORD	CHORD BRG.	ARC	TAN BRG. IN	TAN BRG. OUT
C5	283.00'	17°07'01"	84.23'	N12° 57' 32"W	84.55'	N4° 24' 01"W	N21° 31' 03"W
C6	349.00'	6°35'09"	40.09'	N7° 41' 36"W	40.12'	N10° 59' 11"W	N4° 24' 01"W
C7	13.00'	80°21'39"	16.78'	N29° 02' 05"E	18.23'	N69° 12' 54"E	N11° 08' 45"W
C8	283.00'	16°35'15"	81.64'	S12° 41' 39"E	81.93'	S4° 24' 01"E	S20° 59' 16"E
C9	349.00'	17°07'01"	103.88'	S12° 57' 32"E	104.26'	S21° 31' 03"E	S4° 24' 01"E
C10	316.00'	16°35'15"	91.16'	N12° 41' 39"W	91.48'	N20° 59' 16"W	N4° 24' 01"W
C11	316.00'	17°07'01"	94.05'	N12° 57' 32"W	94.40'	N4° 24' 01"W	N21° 31' 03"W
C12	349.00'	3°32'25"	21.56'	S6° 10' 14"E	21.56'	S7° 56' 26"E	S4° 24' 01"E

SHEET 4 OF 5



THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S., CHECKED BY T. PLACEK (1/28/2026)

C:\USERS\BROZITE\DCACDDCS\RUEKERT & MIELKE, INC.\12 - VILLAGE OF MUKWONAGO - MARSHVIEW ROAD\PROJECT FILES\DWG\C\SMZ-C\SMONEMR.DWG

CERTIFIED SURVEY MAP NO. _____

PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 5 NORTH,
RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE OF DEDICATION:

DC Properties LLP, a Wisconsin limited liability partnership duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability partnership caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map.

DC Properties LLP, as owner, does further certify that this Certified Survey Map is to be submitted to the following for approval or objection:

The Village of Mukwonago

WITNESS the hand and seal of said owner(s) this _____ day of _____, 20 _____.

DC Properties LLP

Darwin D. Greenwald

Title (print)

STATE OF WISCONSIN }
COUNTY OF _____ } SS

Personally came before me this _____ day of _____, 20 ____, Darwin D. Greenwald. of DC Properties LLP, to me known to be the _____ of said DC Properties LLP, and acknowledged that he executed the foregoing instrument by its authority.

Notary Public, _____ County, _____ My Commission Expires _____

VILLAGE BOARD APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago, is hereby approved by the Village Board of the Village of Mukwonago.

Dated this _____ day of _____, 20 ____.

Fred H. Winchowky, Village President

Lana Kropf, Village Clerk

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Mukwonago.

Lana Kropf, Village Clerk

PLAN COMMISSION APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago is hereby approved by the Village of Mukwonago Plan Commission.

Fred H. Winchowky, Chairman

Shay Zerfas, Deputy Clerk

Date



THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S., CHECKED BY T. PLACEK (1/28/2026)

**OWNER'S CERTIFICATE
DEDICATING LAND FOR
PUBLIC RIGHT OF WAY**

Document Number

THIS OWNER'S CERTIFICATE is executed as of the ___ day of December 2025, on behalf of **THE VILLAGE OF MUKWONAGO**, a municipal corporation located in Waukesha County, State of Wisconsin.

WITNESSETH:

AS AUTHORIZED REPRESENTATIVE OF OWNER, I hereby certify that I have caused the land described herein to be surveyed, divided, mapped, and dedicated as represented on the accompanying Certified Survey Map, to accommodate the extension of Marsh View Drive in the Village of Mukwonago, Wisconsin. I also certify that this Certified Survey Map is required to be submitted to the Village of Mukwonago, Wisconsin, for approval pursuant to Wis. Stat. § 236.34(1m)(e).

Recording Area

Name and Return Address:

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

See attached Exhibit A

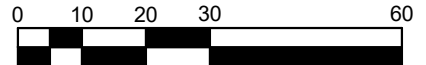
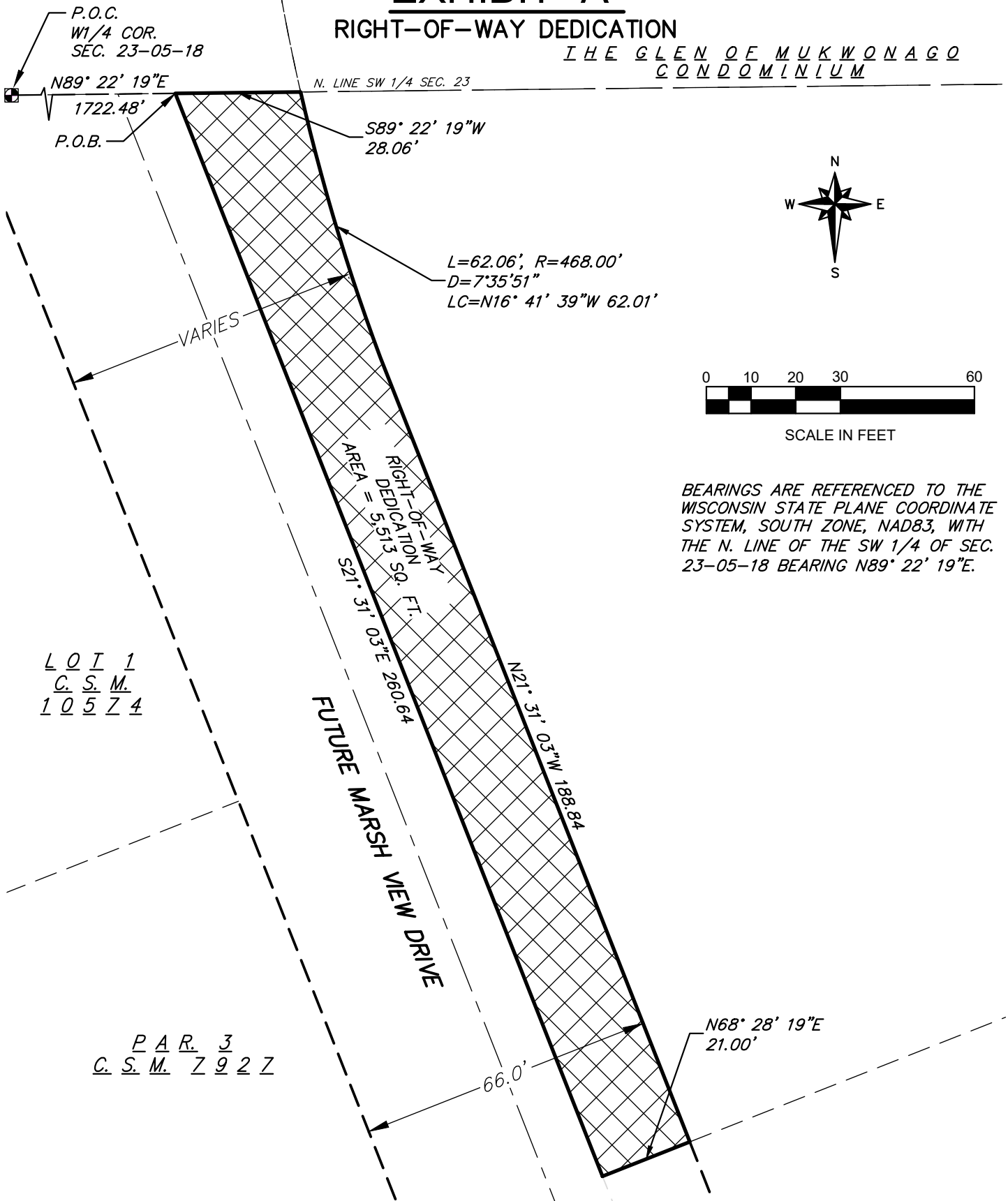
Certified Survey Map for the extension of Marsh View Drive

FOR REFERENCE ONLY

EXHIBIT "A"

RIGHT-OF-WAY DEDICATION

THE GLEN OF MUKWONAGO
CONDOMINIUM



SCALE IN FEET

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83, WITH THE N. LINE OF THE SW 1/4 OF SEC. 23-05-18 BEARING N89° 22' 19\"E.

AREA = 5,513 SQ. FT.
RIGHT-OF-WAY DEDICATION

FUTURE MARSH VIEW DRIVE

L O I 1
C. S. M.
1 0 5 7 4

P A R. 3
C. S. M. 7 9 2 2



PREPARED FOR:
Village of Mukwonago
440 River Crest Ct.
Mukwonago, WI 53149

PREPARED BY:
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

C:\Users\brozite\DC\ACCDocs\Ruekert & Mielke, Inc-\12 - Village of Mukwonago - Marshview Road\Project Files\dwg\Z-Exhibit V Dedication.dwg

EXHIBIT "A"

LEGAL DESCRIPTION FOR RIGHT-OF-WAY DEDICATION

PART OF THE NE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89°22'19" EAST, 1722.48 FEET ALONG THE NORTH LINE OF SAID SW 1/4 SECTION TO THE POINT OF BEGINNING; THENCE SOUTH 21°31'03" EAST, 260.64 FEET; THENCE NORTH 68°28'19" EAST, 21.00 FEET; THENCE NORTH 21°31'03" WEST, 188.84 FEET TO THE BEGINNING OF A 468.00 FOOT RADIUS CURVE TO THE RIGHT, WHOSE CHORD BEARS NORTH 16°41'39" WEST, 62.01 FEET; THENCE NORTHWESTERLY 62.06 FEET ALONG THE ARC OF SAID CURVE TO A POINT OF NON-TANGENCY ON THE NORTH LINE OF SAID SW 1/4 SECTION; THENCE SOUTH 89°22'19" WEST, 28.06 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

CONTAINING 5,513 SQUARE FEET OF LAND, MORE OR LESS.

C:\Users\brozite\DC\ACCDocs\Ruekert & Mielke, Inc-\12 - Village of Mukwonago - Marshview Road\Project Files\dwg\Z-Exhibit V Dedication.dwg



PREPARED FOR:
Village of Mukwonago
440 River Crest Ct.
Mukwonago, WI 53149

PREPARED BY:
Ruekert & Mielke, Inc.
W233 N2080 Ridgeview Pkwy.
Waukesha, WI 53188

SHEET 2 OF 2

THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S. (12/09/2025)

RESOLUTION 2026-1

Acceptance of Dedication of Right of Way

The Village Board of the Village of Mukwonago, Waukesha County, Wisconsin, (Village) by this Resolution, adopted by a majority of the Village Board on a roll call vote with a quorum present and proper notice having been given for said meeting, resolves and declares as follows:

The public way described below, which is currently owned by the Village of Mukwonago, is through this resolution hereby being dedicated by the Village of Mukwonago, as Grantor, as a public right of way to accommodate the extension of Marsh View Drive, on January ____, 2026, and further confirms that the Owner's Certificate Dedicating Land for a Public Right of Way was recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on January ____, 2026. That dedication is formally accepted pursuant to Wis. Stat. § 66.1024.

It is in the public interest that this dedication of the public way described herein is created/accepted by the Village.

The public way to be dedicated to the Village is described as follows, and as shown on the attached Exhibit A:

Part of the NE ¼ of the SE ¼ of section 23, township 5 north, range 18 east, in the Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the west ¼ corner of said section 23; thence north 89°22'19" east, 1722.48 feet along the north line of said SW ¼ section to the point of beginning; thence south 21°31'03" east, 260.64 feet; thence north 68°22'19" east, 21.00 feet; thence north 21°31'03" west, 188.84 feet to the beginning of a 468.00 foot radius curve to the right, whose chord bears north 16°41'39" west, 62.01 feet; thence northwesterly 62.06 feet along the arc of said curve to a point of non-tangency on the north line of said SW ¼ section; thence south 89°22'19" west, 28.06 feet along said north line to the point of beginning. Containing 5,513 square feet of land, more or less.

Return to:
Village Clerk,
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149

Parcel Number: MUKV 1963999011

The Village Clerk shall properly post or publish this Resolution as required under Wis. Stat. § 60.80.

Approved this ____ day of January, 2026.

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Lana Kropf, Village Clerk-Treasurer

STATE OF WISCONSIN, WAUKESHA/WALWORTH COUNTY

Personally came before me this ____ day of January 2026, the persons described above, Fred Winchowky, Village President, and Lana Kropf, Village Clerk-Treasurer, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Clerk-Treasurer of the Village of Mukwonago and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the ____ day of January, 2026.

NOTARY PUBLIC

My Commission Expires:

Drafted by:
Attorney Nathan Bayer

**OWNER'S CERTIFICATE
DEDICATING LAND FOR
PUBLIC RIGHT OF WAY**

Document Number

THIS OWNER'S CERTIFICATE is executed as of the _____ day of January 2026, on behalf of **DC PROPERTIES, LLP** (a Wisconsin corporation).

WITNESSETH:

AS AUTHORIZED REPRESENTATIVE OF OWNER, I hereby certify that I have caused the land described herein to be surveyed, divided, mapped, and dedicated as represented on the accompanying Certified Survey Map, to accommodate the extension of Marsh View Drive, in the Village of Mukwonago, Wisconsin. I also certify that this Certified Survey Map is required to and will be submitted to the Village of Mukwonago, Wisconsin, for approval pursuant to Wis. Stat. § 236.34(1m)(e).

Recording Area

Name and Return Address:

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

See attached Exhibit A

Certified Survey Map for the extension of Marsh View Drive in Mukwonago, Wisconsin

DC Properties, LLP

By: _____
Darwin Greenwald

By: _____
title

STATE OF WISCONSIN)
)ss.
COUNTY OF WAUKESHA)

Personally came before me this ____ day of January, 2026, the above-named Darwin Greenwald, to be known to be the _____ of DC Properties, LLP, and to be known to be the person who executed the foregoing instrument and acknowledged the same.

* _____,
Notary Public, Waukesha County, Wisconsin
My commission expires: _____

*Print Name of Notary Public

THIS INSTRUMENT WAS DRAFTED BY:
Attorney Nathan J. Bayer

Resolution 2026- of the Village of Mukwonago Accepting Dedication of Right of Way from DC Properties, LLP

Document Number

Document Title

The Village Board of the Village of Mukwonago, Waukesha County, Wisconsin, (Village) by this Resolution, adopted by a majority of the Village Board on a roll call vote with a quorum present and proper notice having been given for said meeting, resolves and declares as follows:

The public way described below, which is currently owned by DC Properties, LLP, is through this resolution hereby being dedicated by DC Properties, LLP, as Grantor, as a public right of way to accommodate the extension of Marsh View Drive, on February 18, 2026, and further confirms that the Owner's Certificate Dedicating Land for a Public Right of Way was recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on January ____, 2026. That dedication is formally accepted by the Village of Mukwonago pursuant to Wis. Stat. § 66.1024.

It is in the public interest that this dedication of the public way described herein is created/accepted by the Village.

Recording Area

Name and Return Address

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

Parcel Identification Number (PIN)

MUKV1963999052

FOR REFERENCE ONLY

The public way to be dedicated to the Village is as follows, and as shown shown on the attached Certified Survey Map:

Commencing at the West 1/4 corner of said Section 23; thence North 89°22'19" East, 1722.48 feet along the north line of said SW 1/4 section to the point of beginning of this description; continue thence North 89°22'19" East, 48.17 feet along said north line; thence South 21°31'03" East, 260.64 feet; thence North 68°28'19" East, 21.00 feet; thence South 21°31'03" East, 814.14 feet to the beginning of a 349.00 foot radius curve to the right whose chord bears South 12°57'32" East, 103.88 feet; thence southeasterly, 104.26 feet along the arc of said curve; thence South 04°24'01" East, 44.52 feet to the beginning of a 283.00 foot radius curve to the left whose chord bears South 12°41'39" East, 81.64 feet; thence southeasterly, 81.93 feet along the arc of said curve; thence South 20°59'16" East, 61.28 feet to the northerly line of Certified Survey Map No. 5883; thence South 69°00'52" West, 110.21 feet along said northerly line to the easterly line of Parcel 1 of Certified Survey Map No. 7927; thence North 20°56'42" West, 111.14 feet along said easterly line; thence North 69°03'18" East, 36.57 feet to the beginning of a 13.00 foot radius curve to the left whose chord bears North 29°02'05" East, 16.78 feet, thence northeasterly, 18.23 feet along the arc of said curve to the beginning of a 349.00 foot radius curve to the right whose chord bears North 07°41'36" West, 40.09 feet; thence northwesterly, 40.12 feet along the arc of said curve; thence North 04°24'01" West, 44.52 feet to the beginning of a 283.00 foot radius curve to the left whose chord bears North 12°57'32" West, 84.23 feet; thence northwesterly, 84.55 feet along the arc of said curve; thence North 21°31'03" West, 1091.95 feet to the point of beginning.

The right-of-way dedication of Marsh View Drive contains 90,091 square feet of land, more or less.

The Village Clerk shall properly post or publish this Resolution as required under Wis. Stat. § 60.80.

Approved this 18th day of February, 2026.

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Lana Kropf, Village Clerk-Treasurer

Drafted by:
Attorney Nathan Bayer

FOR REFERENCE ONLY

VILLAGE OF MUKWONAGO
WAUKESHA AND WALWORTH COUNTIES

RESOLUTION NO. 2026-12

A RESOLUTION FOR A CSM REVIEW FOR THE GLEN OF MUKWONAGO FOR THE CREATION OF
PUBLIC RIGHT-OF-WAY ACROSS PARCEL MUKV1962989049

WHEREAS, pursuant to Section 45, Article IV of the Mukwonago Code of Ordinances, an application for a CSM Review has been submitted, which application was filed in the office of the Village Clerk, Village of Mukwonago, Wisconsin, and

WHEREAS, the application has been submitted by the Village of Mukwonago, and

WHEREAS, the applicant is seeking approval of a CSM for the purpose of dedicating lands for public right-of-way use, and

WHEREAS, the proposed CSM conforms to the requirements of the Village of Mukwonago Zoning Code for the district in which the property resides.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Mukwonago, Wisconsin hereby approves the CSM for The Glen of Mukwonago, based upon the plans submitted to the Village, subject to the conditions listed below:

1. The CSM shall be recorded with the Waukesha County Register of Deeds within 30 days of its approval.

Passed and adopted by the Village of Mukwonago Village Board this 18th day of February, 2026.

VILLAGE OF MUKWONAGO

By: _____
Fred Winchowky, Village President

Attest: _____
Lana Kropf, Village Clerk

PLAN COMMISSION STAFF REPORT

TO: Village of Mukwonago Plan Commission
 FROM: Peter Gesch, P.E., Ruekert & Mielke, Inc.
 REPORT DATE: February 3, 2026
 MEETING DATE: February 10, 2026, 6:30 P.M.
 SUBJECT: The Glen of Mukwonago – CSM Review

BASIC INFORMATION	
Project:	The Glen of Mukwonago CSM
Applicant:	Village of Mukwonago
Professional Land Surveyor:	Baiba Rozite – Ruekert & Mielke, Inc.
Request:	CSM Application Approval
Staff Recommendation:	Approve

PARCEL DATA/CHARACTERISTICS	
Tax Key:	MUKV1962989049
Existing Acreage:	0.49 Acres with 0.05 Acres to right-of-way use
Current Use:	Business
Proposed Use:	Business
Reason for Request:	CSM Approval
Land Use Classification:	Business to Public Right-of-Way Use
Zoning Classification:	Business/Public Right-of-Way

Project Summary & Overview

The Village of Mukwonago is seeking approval of a CSM to dedicate public right-of-way for the future extension of Marsh View Drive across lands that are currently owned by The Glen of Mukwonago Condo Association. The current property owner has approved of the CSM and final execution of the documents is forthcoming.

The CSM is necessary to establish the public right-of-way for public roadway purposes between the current terminus of Marsh View Drive and the area being dedicated for public right-of-way via the Marsh View Drive CSM. The necessary documents have been created including all dedicating and accepting resolutions to create the proposed right-of-way shown on the provided CSM. The Village Plan Commission has authority and jurisdiction to review and recommend approval or denial of CSMs to the

Staff Report – CSM
The Glen of Mukwonago - CSM
February 3, 2026
Page 2

Village Board and the supporting documents are provided for the purpose of showing how everything fits together in the final CSM.

Staff Review

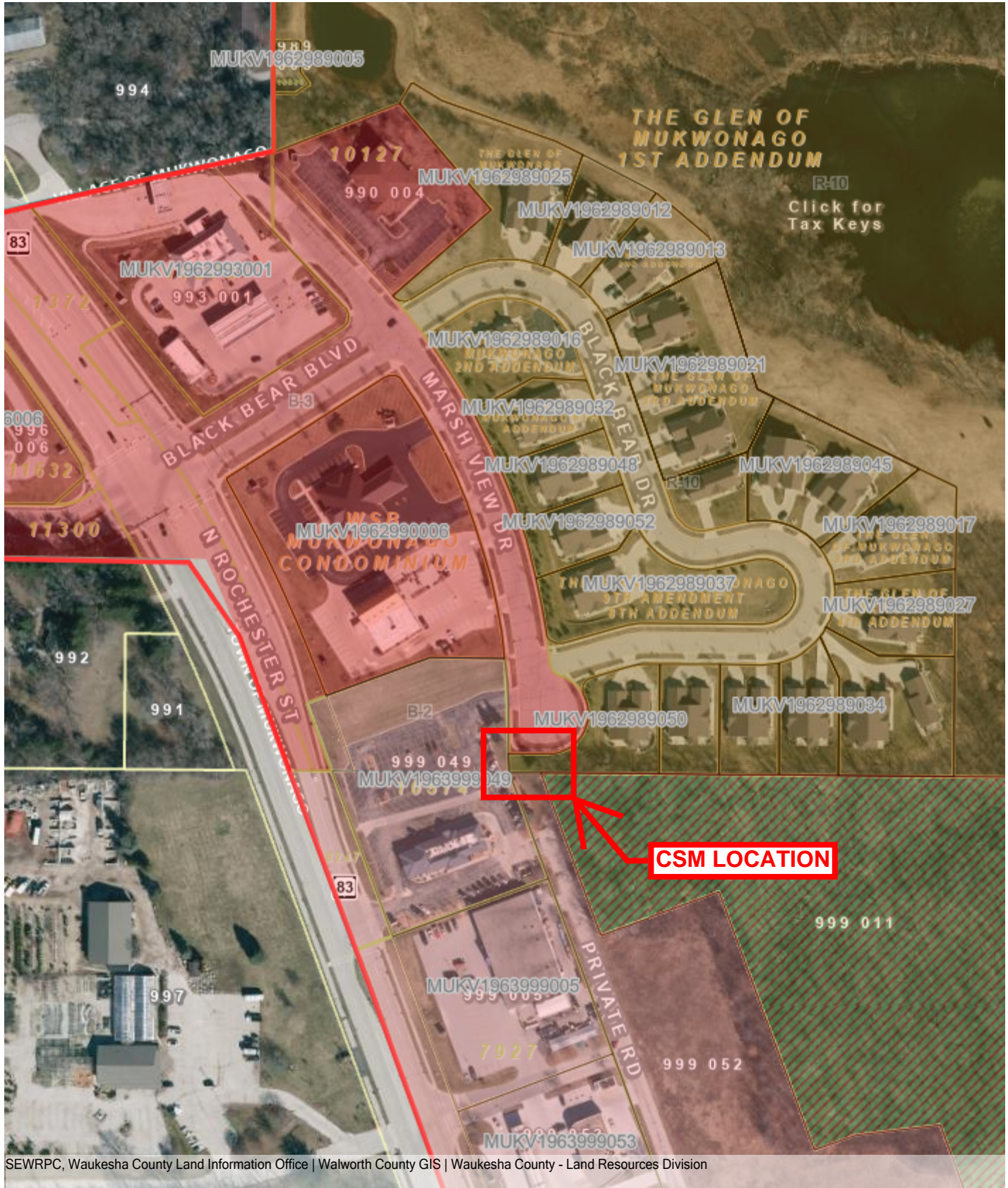
Engineering:	No comments.
Public Works	No comments.
Utilities	No comments.
Police	No comments.
Fire:	No comments.
Building Inspection	No comments.
Planning	No comments.

Recommended Action

Staff recommends the Village Board approve the CSM as outlined in the attached resolution.

Attachments

1. Proposed CSM
2. Supporting Application Documents



0 50 100
ft



Scale: 1 in. = 278 ft.
1 : 3346

Village of Mukwonago
440 River Crest Court
PO Box 206
Mukwonago, WI 53149
262-363-6420

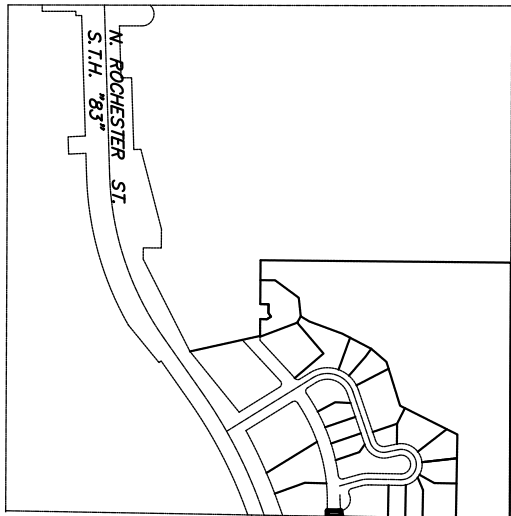
Notes

DISCLAIMER: The Village of Mukwonago does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE GLEN OF MUKWONAGO CONDOMINIUM, A CONDOMINIUM DECLARED AND EXISTING UNDER AND BY VIRTUE OF THE CONDOMINIUM OWNERSHIP ACT OF THE STATE OF WISCONSIN AND RECORDED BY A DECLARATION AS DOCUMENT NO. 3841262, AND AMENDMENTS AND ADDENDUMS THERETO, AND HAVING BEEN EXTINGUISHED BY REMOVAL INSTRUMENT RECORDED AS DOCUMENT NO. _____, LOCATED IN PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

VICINITY MAP



NW 1/4 SEC. 23-05-18
NOT TO SCALE

MARSH VIEW DR
VARIABLE WIDTH PUBLIC R/W

R/W VACATED BY SEPARATE DOCUMENT

LOI 1
CSM
10524

$L=11.13', R=60.00'$
 $D=10^{\circ}37'44''$
 $LC=N84^{\circ}03'43''E 11.11'$
(N89°22'25"E, 59.67')
N89° 22' 31"E

$L=30.46', R=468.00'$
 $D=3^{\circ}43'45''$
 $LC=S11^{\circ}01'51''E 30.46'$

THE GLEN OF
MUKWONAGO
CONDOMINIUM

RIGHT-OF-WAY
DEDICATION
AREA = 2,127 SQ. FT.

N89° 22' 19"E
1674.30'

(N89°22'13"E)
S89° 22' 19"W 76.22'

S. LINE NW 1/4 SEC. 23
N. LINE SW 1/4 SEC. 23

UNPLAID
LANDS

LOI 1
CSM
10524

W 1/4 COR.
SEC. 23-05-18
CONC. MON. W/
BRASS CAP
N 324760.93
E 2411984.35

CENTER
SEC. 23-05-18
CONC. MON. W/ BRASS CAP
N 324789.71
E 2414609.59

MARSH VIEW DR
66' WIDE PUBLIC R/W
DEDICATED BY SEPARATE DOCUMENT

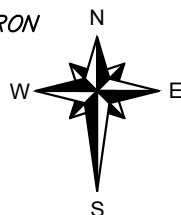
- IP FOUND 1" DIAM. IRON PIPE
- ⊠ SET 3/4" DIAM. X 18" LONG IRON ROD, MIN. WT. 1.13 LBS/FT.
- FOUND CONCRETE MONUMENT WITH BRASS CAP

PREPARED FOR:
Village of Mukwonago
440 River Crest Ct.
Mukwonago, WI 53149

PREPARED BY:
RUEKERT & MIELKE, INC.
W233 N2080 RIDGEVIEW PKWY.
WAUKESHA, WI 53188

THIS INSTRUMENT WAS DRAFTED BY B. ROZITE, P.L.S. (2/03/2026)

BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, NAD 83, SOUTH ZONE, SOUTH LINE OF NW 1/4 OF 23-05-18 BEARS N 89°22'19" E.



SHEET 1 OF 3

Ruekert Mielke
Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com



CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE GLEN OF MUKWONAGO CONDOMINIUM, A CONDOMINIUM DECLARED AND EXISTING UNDER AND BY VIRTUE OF THE CONDOMINIUM OWNERSHIP ACT OF THE STATE OF WISCONSIN AND RECORDED BY A DECLARATION AS DOCUMENT NO. 3841262, AND AMENDMENTS AND ADDENDUMS THERETO, AND HAVING BEEN EXTINGUISHED BY REMOVAL INSTRUMENT RECORDED AS DOCUMENT NO. _____, LOCATED IN PART OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 23, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
COUNTY OF WAUKESHA } SS

I, Baiba M. Rozite, Ruekert & Mielke, Inc., Wisconsin Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped that part of The Glen of Mukwonago Condominium, a condominium declared and existing under and by virtue of the Condominium Ownership Act of the State of Wisconsin and recorded by a Declaration as Document No. 3841262, and amendments and addendums thereto, and having been extinguished by Removal Instrument recorded as Document No. _____, located in the part of the Southeast ¼ of the Northwest ¼ of Section 23, Town 5 North, Range 18 East, Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as:

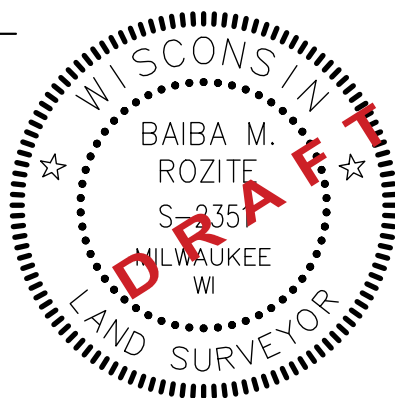
Commencing at the West ¼ corner of said Section 23, thence North 89°22'19" East, 1674.30 feet along the south line of the Northwest ¼ of said Section 23 to the easterly line of Lot 1 of Certified Survey Map No. 10574 and to the point of beginning of this description; thence North 00°37'29" West, 28.93 feet along said easterly line to the southerly line of Marsh View Drive; thence North 89°22'31" East, 59.66 feet along said southerly line to the beginning of a 60.00 foot radius curve to the left whose chord bears North 84°03'43" East, 11.11 feet; thence northeasterly 11.13 feet along the arc of said curve to the beginning of a 468.00 foot radius non-tangent curve to the left whose chord bears South 11°01'51" East, 30.46 feet; thence southeasterly 30.46 feet along the arc of said curve to the aforesaid south line of the Northwest ¼ of said Section 23; thence South 89°22'19" West, 76.22 feet along said south line to the point of beginning; containing 2,127 square feet of land, more or less.

That I have made this survey, land division and map by the direction of The Glen of Mukwonago Condominium, Inc., owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and Chapter 45 of the Village of Mukwonago land division ordinance in surveying, dividing and mapping of same.

Baiba M. Rozite, PLS - 2351
Date of field work: 9/23/2025



CERTIFIED SURVEY MAP NO. _____

THAT PART OF THE GLEN OF MUKWONAGO CONDOMINIUM, A CONDOMINIUM DECLARED AND EXISTING UNDER AND BY VIRTUE OF THE CONDOMINIUM OWNERSHIP ACT OF THE STATE OF WISCONSIN AND RECORDED BY A DECLARATION AS DOCUMENT NO. 3841262, AND AMENDMENTS AND ADDENDUMS THERETO, AND HAVING BEEN EXTINGUISHED BY REMOVAL INSTRUMENT RECORDED AS DOCUMENT NO. _____, LOCATED IN PART OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 23, TOWN 5 NORTH, RANGE 18 EAST, VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE OF DEDICATION:

THE GLEN OF MUKWONAGO CONDOMINIUM, INC., CONDOMINIUM ASSOCIATION FOR THE GLEN OF MUKWONAGO CONDOMINIUM, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said ASSOCIATION caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map.

THE GLEN OF MUKWONAGO CONDOMINIUM, INC., as owner, does further certify that this Certified Survey Map is to be submitted to the following for approval or objection:

The Village of Mukwonago

WITNESS the hand and seal of said owner(s) this _____ day of _____, 20 ____ .

THE GLEN OF MUKWONAGO CONDOMINIUM, INC.

DAVID G. SCHWEIGER, PRESIDENT

STATE OF WISCONSIN }
COUNTY OF _____ } SS

Personally came before me this _____ day of _____, 20 ____, DAVID G. SCHWEIGER, PRESIDENT, of THE GLEN OF MUKWONAGO CONDOMINIUM, INC., to me known to be the PRESIDENT OF THE GLEN OF MUKWONAGO CONDOMINIUM, INC. and acknowledged that he executed the foregoing instrument by its authority.

Notary Public, _____ County, _____ My Commission Expires _____

VILLAGE BOARD APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago, is hereby approved by the Village Board of the Village of Mukwonago.

Dated this _____ day of _____, 20 ____ .

Fred H. Winchowky, Village President Lana Kropf, Village Clerk

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Mukwonago.

Lana Kropf, Village Clerk

PLAN COMMISSION APPROVAL:

Resolved, that this Certified Survey Map, in the Village of Mukwonago is hereby approved by the Village of Mukwonago Plan Commission.

Fred H. Winchowky, Chairman Shay Zervas, Deputy Clerk _____
Date



**OWNER'S CERTIFICATE
DEDICATING LAND FOR
PUBLIC RIGHT OF WAY**

Document Number

THIS OWNER'S CERTIFICATE is executed as of the ____ day of February 2026, on behalf of **THE GLEN OF MUKWONAGO CONDOMINIUM, INC.**, a non-stock corporation located in Waukesha County, State of Wisconsin.

WITNESSETH:

AS AUTHORIZED REPRESENTATIVE OF OWNER, I hereby certify that to accommodate the extension of Marsh View Drive in the Village of Mukwonago, Wisconsin, the Glen of Mukwonago Condominium, Inc., has agreed to dedicate land to the Village of Mukwonago. As a result of the Village's request, the land described herein has been surveyed, divided, mapped, by a certified engineer, and is hereby being dedicated as represented on the accompanying Certified Survey Map. I also certify that this Certified Survey Map is required to and will be submitted to the Village of Mukwonago, Wisconsin, for approval pursuant to Wis. Stat. § 236.34(1m)(e).

I further certify that I have authority to execute this document on behalf of The Glen of Mukwonago Condominium, Inc.

Recording Area

Name and Return Address:

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

See attached Exhibit A

Certified Survey Map for the Dedication of Right of Way to extend Marsh View Drive in Mukwonago

The Glen of Mukwonago Condominium, Inc.

By: _____
Dave Schweiger, President of The Glen of Mukwonago
Condominium, Inc.

STATE OF WISCONSIN)
)ss.
COUNTY OF WAUKESHA)

Personally came before me this ___ day of February, 2026, the above-named Dave Schweiger, to be known to be the President of the Glen of Mukwonago Condominium, Inc., and to be known to be the person who executed the foregoing instrument and acknowledged the same.

* _____,
Notary Public, Waukesha County, Wisconsin

My commission expires: _____

*Print Name of Notary Public

THIS INSTRUMENT WAS DRAFTED BY:
Attorney Nathan J. Bayer

Resolution 2026-2 of the Village of Mukwonago Accepting Dedication of Right of Way from the Glen of Mukwonago Condominium, Inc.

Document Number

Document Title

The Village Board of the Village of Mukwonago, Waukesha County, Wisconsin, (Village) by this Resolution, adopted by a majority of the Village Board on a roll call vote with a quorum present and proper notice having been given for said meeting, resolves and declares as follows:

The public way described below, which is currently owned by The Glen of Mukwonago Condominium, Inc., is through this resolution hereby being dedicated by The Glen of Mukwonago Condominium, Inc., as Grantor, as a public right of way to accommodate the extension of Marsh View Drive, on January ____, 2026, and further confirms that the Owner's Certificate Dedicating Land for a Public Right of Way was recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on January ____, 2026. That dedication is formally accepted pursuant to Wis. Stat. § 66.1024.

It is in the public interest that this dedication of the public way described herein is created/accepted by the Village.

Recording Area

Name and Return Address

**Village Clerk
Village of Mukwonago
440 River Crest Court
Mukwonago, WI 53149**

Parcel Identification Number (PIN)

MUKV1962989050

FOR REFERENCE ONLY

The public way to be dedicated to the Village is described as follows, and as shown on the attached Exhibit A:

That part of The Glen of Mukwonago Condominium, a condominium declared and existing under and by virtue of the Condominium Ownership Act of the State of Wisconsin and recorded by a Declaration as Document No. 3841262, and amendments and addendums thereto, being located in the part of the Southeast ¼ of the Northwest ¼ of Section 23, Town 5 North, Range 18 East, Village of Mukwonago, Waukesha County, Wisconsin, bounded and described as:

Commencing at the West ¼ corner of said Section 23, thence North 89°22'19" East, 1674.30 feet along the south line of the Northwest ¼ of said Section 23 to the easterly line of Lot 1 of Certified Survey Map No. 10574 and to the point of beginning of this description; thence North 00°37'29" West, 28.93 feet along said easterly line to the southerly line of Marsh View Drive; thence North 89°22'31" East, 59.66 feet along said southerly line to the beginning of a 60.00 foot radius curve to the left whose chord bears North 84°03'43" East, 11.11 feet; thence northeasterly 11.13 feet along the arc of said curve to the beginning of a 468.00 foot radius non-tangent curve to the left whose chord bears South 11°01'51" East, 30.46 feet; thence southeasterly 30.46 feet along the arc of said curve to the aforesaid south line of the Northwest ¼ of said Section 23; thence South 89°22'19" West, 76.22 feet along said south line to the point of beginning; containing 2,127 square feet of land, more or less.

The Village Clerk shall properly post or publish this Resolution as required under Wis. Stat. § 60.80.

Approved this ___ day of January, 2026.

BY THE VILLAGE BOARD OF THE VILLAGE OF MUKWONAGO

Fred Winchowky, Village President

Attest:

Lana Kropf, Village Clerk-Treasurer

Drafted by:
Attorney Nathan Bayer

FOR REFERENCE ONLY